

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
JULY 22, 2013**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider the Minutes of the June 17, June 24 and July 8, 2103 Plan Commission meetings.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AMENDMENT** to consider the request of James and Linda Carpenter, owners of the property located at 11450 23rd Avenue to rezone the property from R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District into the R-4 (AGO), Urban Single Family Residential District with a General Agricultural Overlay District.
 - B. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** for the request of Barbara Newman, of Ramaker & Associates for Sprint Nextel to upgrade and replace the antenna on the existing water tower located at 10300 57th Avenue and to construct a new building for the ground equipment associated with the Sprint antennas.
 - C. Consider the request of Michael L. Kinstle, Vice President of Real Estate for Meijer Distribution, Inc owners of the property located at 7400 95th Street for **Site and Operational Plan** approval for an addition to the existing warehouse, addition to the existing Energy Center and truck wash, new access to 95th Street and new guard houses at the STH 31 and 95th Street entrances.
 - D. Consider a **change of address** for the house with an address of 5029 93rd Street that is inappropriately assigned to 5149 93rd Street.
 - E. Consider the request of Jonah Hetland of Bear Development agent for the owners of Lots 19 and 20 of the Westfield Heights Subdivision for a **Lot Line Adjustment** to add 5,312 square feet of land to Lot 20 from Lot 19 for the proposed development of Goddard School.
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
5:00 P.M.
June 17, 2013**

A special meeting for the Pleasant Prairie Plan Commission convened at 5:00 p.m. on June 17, 2013. Those in attendance were Thomas Terwall; Michael Serpe; Donald Hackbarth; Wayne Koessler; Andrea Rode (Alternate #2); Jim Bandura; John Braig; and Judy Juliana (Alternate #1). Larry Zarletti was excused. Also in attendance were Mike Pollocoff, Village Administrator; Jean Werbie-Harris, Community Development Director; Tom Shircel, Assistant Village Administrator; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CORRESPONDENCE.**
- 4. CITIZEN COMMENTS.**

Tom Terwall:

If you're here for an item that appears on the agenda as a matter for public hearing, we would ask that you hold your comments until the public hearing is held so we can incorporate your comments as a part of the official record. However, if you're here for an item that is not a public hearing or if you want to raise an issue that's not on the agenda now would be your opportunity to do so. We would ask you to step to the microphone and begin by giving us your name and address. Anybody wishing to speak under citizens' comments?

- 5. NEW BUSINESS.**
 - A. PUBLIC HEARING AND CONSIDERATION APPROVAL OF PLAN COMMISSION RESOLUTION #13-07 FOR THE FOLLOWING COMPREHENSIVE PLAN AMENDMENTS: 1) to amend Chapter 1 (page 9) to include the land that was annexed into the Village by Land Transfer Ordinance #2 adopted by the Village Board on January 21, 2013 (Tax Parcel Numbers 91-4-121-254-0401 and 91-4-121-254-0406) in the Planning Area description and to amend Map 1.2 to show the area being annexed into Pleasant Prairie within the Corporate boundaries of Pleasant Prairie; 2) to amend Chapter 9 (page 407 and 408) to include a new manufacturing land use designation entitled: "Production Manufacturing" and a general description of the new designation; and 3) to amend the 2035 Land Use Plan Map 9.9 as follows: a) The following properties generally located west of Green Bay Road and north of Springbrook Road and further identified as Tax Parcel Numbers 92-4-122-273-0156 owned by Citizens Bank of Mukwonago, 92-4-122-342-0100 owned by Rabin and Lynn LLC, 92-4-122-342-0300 owned by VPX Farm LLC and 92-4-122-331-0150 owned by Rabin and Lynn LLC that are**

currently located within a General Industrial land use designation with an Urban Reserve land use designation to the Production Manufacturing land use designation. All other land use designations on the properties will remain unchanged; b) The following properties generally located east of IH-94 between 110th Street and 122nd Street and further identified as Tax Parcel Numbers 92-4-122-303-0101, 92-4-122-304-0200, 92-4-122-311-0200, 92-4-122-312-0305 and 92-4-122-312-0310 owned by James G Hart and Delaine Farm Partners, 92-4-122-303-0300 owned by Ries Partners LP, 92-4-122-312-0100 owned by Otto H. Sprenger Trust Revocable Trust and 92-4-122-312-0150 owned by Kathleen Johnson that are currently located within Freeway-Oriented Regional Retail Centers land use designation with an Urban Reserve land use designation to the Production Manufacturing land use designation. All other land use designations on the properties will remain unchanged; and c) The following properties generally located west of IH-94 at approximately 11300 block of 120th Avenue (West Frontage Road) and further identified as Tax Parcel Numbers 91-4-121-254-0122, 91-4-121-254-0401 and 91-4-121-254-0406 and owned by Pleasant Prairie Community Development Authority, 91-4-121-254-0301 owned by Ries Partners LP that are currently located within Freeway-Oriented Regional Retail Centers land use designation to the Production Manufacturing land use designation. All other land use designations on the properties will remain unchanged; and 4) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

Jean Werbie-Harris:

Mr. Chairman, I'd ask that Items A, B and C be considered by the Plan Commission at the same time.

Tom Terwall:

With three votes.

Jean Werbie-Harris:

Three different actions.

Tom Terwall:

Is there a motion?

Wayne Koessl:

So moved.

Jim Bandura:

Second.

Tom Terwall:

MOVED BY WAYNE KOESSL AND SECONDED BY JIM BANDRUA TO COMBINE ITEMS A, B AND C FOR PRESENTATION PURPOSES ONLY BUT THEY HAVE THREE SEPARATE VOTES. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- B. PUBLIC HEARING AND CONSIDERATION THE FOLLOWING A ZONING TEXT AMENDMENTS: 1) to create Section 420-125.1 of the Village Zoning Ordinance entitled M-5 Production Manufacturing District and 2) to amend Section 420-100 A (1) to include the M-5, Production Manufacturing District in the list of basic zoning districts established in the Village.**

- C. PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AMENDMENTS: to rezone the following properties into the new M-5 Production Manufacturing District 1) portions of the following properties generally located west of Green Bay Road and north of Springbrook Road that are currently zoned M-2 (AGO), General Manufacturing District with a General Agricultural Overland District: Tax Parcel Numbers 92-4-122-273-0156 owned by Citizens Bank of Mukwonago, 92-4-122-342-0100 owned by Rabin and Lynn LLC, 92-4-122-342-0300 owned by VPX Farm LLC and 92-4-122-331-0150 owned by Rabin and Lynn LLC.; 2) portions of the following properties generally located east of IH-94 between 110th Street and 122nd Street that are currently zoned A-2, General Agricultural District and further identified as Tax Parcel Numbers 92-4-122-303-0101, 92-4-122-304-0200, 92-4-122-311-0200, 92-4-122-312-0305 and 92-4-122-312-0310 owned by James G Hart and Delaine Farm Partners, 92-4-122-303-0300 owned by Ries Partners LP, 92-4-122-312-0100 owned by Otto H. Sprenger Trust Revocable Trust and 92-4-122-312-0150 owned by Kathleen Johnson; and 3) portions of the following properties generally located west of IH-94 at approximately 11300 block of 120th Avenue (West Frontage Road) that are currently zoned B-3, Regional Retail District or A-2, General Agricultural District and further identified as Tax Parcel Numbers 91-4-121-254-0122, 91-4-121-254-0401 91-4-121-254-0406 and owned by Pleasant Prairie Community Development Authority and 91-4-121-254-0301 owned by Ries Partners LP. Any portion of the properties that are zoned C-1, Lowland Resource Conservancy District, C-2, Upland Resource Conservancy District, or FPO, Floodplain Overland District will remain unchanged.**

Jean Werbie-Harris:

Mr. Chairman, what I'd like to say is we are holding three public hearings this evening, and they are for the consideration of the Plan Commission Resolution 13-07, and this is for the

comprehensive plan amendments for these properties we're going to be discussing. The second is for the zoning text amendments, and then the following is for the zoning map amendments.

Specifically, it's in reference to various parcels that have been identified as part of the part of the public hearing notice, and they include the lands that are on the west side of the Interstate and identified as Tax Parcel Numbers 91-4-121-254-0401 and 91-4-121-254-0406. And this is west of the Interstate. The second area is that area that is west of State Trunk Highway 31, and these Tax Parcel Numbers are 92-4-122-273-0156 owned by Citizens Bank of Mukwonago. And then the next set of parcels is those owned by Rabin and Lynn LLC identified as 92-4-122-342-0300 owned by VPX Farm LLC and 92-4-122-331-0150 owned by Rabin and Lynn LLC. These are properties that are currently in the general industrial land use designation with an urban reserve land use designation. All of these properties that I'm referring to this evening are all going to be proposed to go into the Production Manufacturing District.

And with respect to all of the properties in question all of the environmental designations that may be on any of these properties, the C-1 areas or the shoreland jurisdictional boundary areas or the floodplain areas those are all remaining intact as well. We are not adjusting any of those.

And then the next area is the area that's located east of I-94 between 110th Street and 122nd Street, and this is identified as Tax Parcel Numbers 92-4-122-303-0101, 92-4-122-304-0200 and 92-4-122-311-0200, 92-4-122-312-0305 and 92-4-122-312-0310. And these are owned by James G. Hart and Delaine Farm Partners; and 92-4-122-303-033 owned by the Ries Partners LP; and 92-4-122-312-0100 owned by Otto H. Sprenger Trust Revocable Trust; and 92-4-122-312-0150 owned by Kathleen Johnson. And those properties that I just referenced are currently in the freeway oriented regional retail land use designation and that related zoning district.

And then the last of the properties as I mentioned initially are at the 11300 block of 120th Avenue, and these are identified as 91-4-121-254-0122, 91-4-121-254-0401 and 91-4-121-254-0406, and these are owned by the Pleasant Prairie Community Development Authority. And, finally, 91-4-121-254-0301, and this property is owned by the Ries Partners LP. Again, this particular area is also identified as the freeway oriented regional retail centers. And, again, all of these referenced properties are proposed to go into the M-5 District.

Mr. Chairman and members of the Plan Commission, on March 11, 2013, the Plan Commission adopted Plan Commission Resolution 13-04 to initiate amendments to the Village's 2035 Comprehensive Plan, the Village zoning ordinance and the Village zoning maps. And these were related to creating a new M-5, Production Manufacturing Zoning District, that would allow for specific manufacturing, production and office uses located on properties located adjacent to the LakeView Corporate Park. The new M-5 Zoning District reflects an enhancement of the Village's public policy of sound and diversified economic development. While there have been and still are sufficient economic opportunities for the construction of warehouses and distribution facilities in the existing Corporate Parks, it is important to conserve land resources and economic infrastructure support in order to assist in providing more employment in the Village. The new district would serve to promote and encourage production, manufacturing and office-related employment as the primary uses with warehousing and distribution to be more ancillary or secondary uses within this particular district. The M-5 District would be used to encourage and promote more intensive land uses which would in turn would promote greater employment

opportunities in proximity to I-94 and Highway 31 in the Village. The Village's goal would be to increase the number of jobs per acre, which is good for the community.

The next thing I'd like to do is just to generally go over the zoning text amendments with you. One of the other things I want to bring to your attention is that we initially had developed the M-5 District, but over the last several weeks we've had numerous conversations with various property owners in the Village that would be impacted by these changes. And a number of those specific owners as well as representatives of those properties had contacted us and recommended some modifications and changes. And we sat down with them and we discussed these matters as a staff. And so the version that you have with just a few other minor changes that I'm going to tell you about tonight is really a compilation of a sit down of our discussion with a number of these corporate developers.

Again, the Production Manufacturing District is intended to provide for manufacturing, assembly, office, and research and development uses with limited warehouse and distribution uses within the Village. The key is that these new areas that are being identified for the M-5 District will be also areas that we would like to see developed as attractive corporate park-like settings with landscaping and consistent signage and other type of similar and compatible building materials. We have in the ordinance enhanced some of this very specific site and operational plan conditions with respect to the aesthetics. So it kind of enhances and provides a little bit higher standards in some of those respects as well. The M-5 District is really not intended to be more of a heavy manufacturing district where there are very intensive manufacturing uses that would be a great deal of the hazardous types of products. It would be more of the limited or light manufacturing types of uses that we're looking at in these particular areas.

The way the district is set up is very similar to the other districts in that we've identified the purpose and the characteristics, and then we've gone through and identified the permitted uses as referencing the State code books and such. But as we get into the permitted and auxiliary permitted uses, again, we have provided some opportunity for some auxiliary permitted uses within the same building.

As you will recall when we put the ordinances together for a PPD 2 west of the Interstate, we had identified that this is also a district that could be for office-related uses. And so we wanted to make sure that if there were large office buildings that would go into this district that they could for their own particular users of the building that they could have retail-related facilities in the lower levels of these buildings. And that specifically is addressed in this particular district as well as part of an auxiliary permitted use within that particular district.

There's also service-related uses that would also be allowed, again, intended to service that particular building. Also the third auxiliary use would be the warehouse or distribution use. Again, not the primary use of the facility. In fact, we wrote some very specific criteria in that the warehouse and distribution auxiliary uses would be allowed in the M-5 District, and they'd be classified as storage group uses, however these uses are intended to be secondary basically to the permitted manufacturing or research and development or office-related uses. They are intended to not occupy more than 30 percent of a particular building.

I'd like to give you an example. The particular manufacturing use that might be in a building if they have raw material storage or finished product storage specifically related to that

manufacturing process that is not included in the maximum 30 percent storage for warehousing. So what we're saying is that they can use their warehousing for the storage of not only their raw materials but their product going out.

The building facade area for the dock doors is limited to a total of 25 percent of the building exterior walls. And, finally, such other uses are subject to the requirements that are in the site and operational plan provisions of the ordinance except if they're specifically set forth as a restriction in this particular ordinance. We identified also in this district the specific uses that would not be permitted as an auxiliary use, would not be permitted as a conditional use or a permitted use in this particular district. And those are specifically listed on the bottom of page 3 and 4. Also we've listed specifically those conditional uses that would be permitted. Again, these are very similar to some of the other manufacturing districts.

One of the questions that had come up by some of the landowners was whether or not what would happen with respect to the nonconforming uses. There are some situations where the land is vacant, in most cases it's vacant and it's being farmed. So we specifically set forth a provision that the existing agricultural-related uses that are being provided for on the property are allowed to remain as a nonconforming use until one of two things happens, they change the use of the property by putting a new use there, or they cease that activity for more than 12 months. So if the property is being farmed and they cease farming for more than 12 months, they're going to lose that nonconforming use or that right on the property.

We identified specific dimensional standards for this particular district. Our lot sizes are two acres minimum. The lot frontages on public street 150 feet minimum unless they're on a substantial cul-de-sac or curve. We've identified that the open space requirement similar to the other manufacturing districts would be 25 percent. We identified the specific building standards with respect to height and setbacks. Again, there were some recent changes to the principle building height in the M-2 District, and we carried through those recent modifications that were made by the Village Plan Commission and the Board.

With respect to design standards, again, we carried many of these same provisions through with respect to the number of principle structures no limit, number of detached structures no limit. Fences are allowed, however chain link fences need to be vinyl coated, the color needs to be black or earth tone. So this is where we started to increase some of the architectural standards. Another specific element is that dock doors shall not face any public streets. You can have dock doors but they cannot face any public streets.

With respect to principle office building standards the gross floor area of a principle office building shall be a minimum of 24,000 square feet. And each of the first two floors above grade shall have a gross floor area of 10,000 square feet. Again, some of these requirements we picked up from the PDD 2 ordinance that we drafted on the west side of the Interstate.

There are some specific requirements with respect to facade. One of them has to do with glazing, and this is where we have just a minor modification to what you had been sent on Friday. But the key is that the Village staff felt that the ability for the traveling public and those that are coming to the Village to see these buildings along the Interstate or along the major State highways we wanted to increase the architectural appearance of the aesthetics. So we increased and actually

set forth some specific glazing requirements or window type treatment requirements on these buildings.

For example, number one, if it's a manufacturing facility primarily we were making the modifications that portions of the building used for manufacturing or directly related warehousing and/or distribution uses, again, as previously defined shall have a minimum glazed area calculated on the basis of the manufacturing or directly related warehousing or distribution of the building facade areas of 5 percent. We went through several exercises where we worked with some of the folks and laid out the building, an average size building, and where the windows would have to be placed. And based on a certain percentage of the building being office, the balance being manufacturing or warehouse related to that manufacturing, and then defining how many areas could be attributed to windows and what the process would be, after further discussion and thought we modified that to a 5 percent for the manufacturing area.

Again, there are a number of products being produced that are proprietary, and having tons of windows viewed into your manufacturing area might be a problem. Security could be an issue. So we wanted to make sure that any manufacturing building has some natural light and has a percentage of glazing but not too excessive that it would create a problem for the particular building user. The second is with respect to office building portions of the buildings that are used primarily for business office or research and development or primarily office buildings. They need to have a minimum glazed area calculated on the basis of the office/research development area of 25 percent.

With respect to parking garage, parking garages shall have entry and exit stairwells and lobbies that are visible from the exterior, but they shall have a minimum glazed area. That's only 25 percent for the parking garages. And then utility substations are the ones that have no glazing required at all.

With respect to the specifics on the glazed area, we give some details with respect to it can be tinted or clear glass but no mirrored glass. Then we talked about the different types of coatings and the different type of treatment systems adjacent along with the doorframes and other types of treatments. With respect to the non-glazed areas of the buildings we refer specifically to our site and operational plan provisions and the provisions that we've worked out from the beginning and what we've been following for the last many years.

What we also indicate in here is with respect to the architectural features for roofs, that they can be copper, zinc coated, aluminum panels or slate or architecturally painted metal panels. So, again, typically the roof structure for these types of buildings is not going to be a pitched roof. It's probably going to be a flat roof, but any type of architectural treatments or overhangs or some type of features are added they can be of that metal variety.

With respect to the operational plan standards it's the same as it is for other uses in the LakeView Corporate Park and Prairiewood. The same information, no onsite residential is allowed, and all other building site and structural performance standards have to be met. All the aesthetics of the buildings need to be met if they're not included in here as pursuant to the Village zoning ordinance.

That's an overview of the text amendments. And then there's a second text amendment. As Peggy is mentioning, in addition to this section we have to add it to the list of all of the different districts we have. There's a listing that starts that section, and so we're amending it to add the M-5 as a new district for that particular area.

This is one of the areas. The first areas I read all of the tax parcel numbers into the record, but this is more of a visual to show you the area that would be proposed to be rezoned. Again, it's the west side of Green Bay Road. Essentially it's south of Momper's Woods which is just south of 108th Street. It's north of Springbrook Road, and then it's east of the waterway and the shoreland area that's been defined. It's kind of north and south of 116th Street if, in fact, it was extended to the west.

The next area is that area that is just to the east of I-94. It's south of 116th Avenue. This is 116th Avenue, 110th Street, so south of 116th Avenue all the way down to 122nd Street. This is the East Frontage Road, so it's all of that area that is located on the east basically of the East Frontage Road. The third area is on the west side of I-94 and west of the West Frontage Road, and it's these parcels right here as well as those that have been recently acquired and put into the Village of Pleasant Prairie from the Town of Bristol. So these comprehensive plan amendments then would be to modify and to include specifically in addition these areas right here that go into the Village that were recently annexed by a transfer ordinance. Again, that was done in January.

One of the other things we have to do is we have to amend the comprehensive plan. And the comprehensive plan when it's amended will include the new manufacturing land use designation entitled production manufacturing. There is a general description as shown on the screen and in the information that you have that describes that district. Again, production manufacturing intended to provide for manufacturing, assembly, office, research and development uses with limited warehouse and distribution uses within an enclosed structure. And, again, it goes into the things I mentioned before with not being a high hazard area; it's an area that's being developed as a consolidated business park area with attractive landscaping and business park aesthetics. And this specific amendment to the comprehensive plan will then be reflected with the letter P like Paul or production on the land use plan map.

This is the first area that would be reflected. Again, this is just west of Green Bay Road, south of Momper's Woods and north of Springbrook Road. The next area -- let me go back just one minute. Again, that other area was in an industrial reserve area, and we are moving it into this P for production manufacturing. There's still a small area that will remain as G for general industrial. The area that is out by the Interstate was actually in a red or a commercial regional retail designation. That area which had the cross-hatching on it south of 110th by Premium Outlets that area all the way down to 122nd no longer will be reflective of red or that regional retail color. It will now be a production manufacturing, the light gray with the P designation. And then the last areas, again, that area west of the Interstate that now will be reflected again as the production manufacturing and commercial area as opposed to the commercial regional retail. And then finally we do need to reflect all the changes on the official 2035 Land Use Plan Map 9.9. So we will make all those changes as well.

So with that I'd like to continue the public hearing.

Tom Terwall:

This is a matter for public hearing. Let me just first state for the record that Commissioner Braig is in attendance. Anybody wishing to speak on these three items please step to the microphone and begin by giving us your name and address. Is there anybody wishing to speak? Yes, sir?

Charles Miller:

Good evening. My name is Charles Miller. I'm the Chief Executive Officer of the Citizens Bank of Mukwonago. And we own a 62 acre parcel at the north end of that Highway 31 block that's being rezoned M-5. My concern is that in talking with our realtor and other realtors in this area it's not the bank's intention to hold property as an investment. Our bank's intention is to get it sold as a development piece. And our concern is that this may hamper that effort because it's such a small area that's being designated M-5 on this eastern part of this property line, only three parcels have identified. And for people we've talked with it's going to restrict I don't want to say unfairly but it's going to restrict us and provide us with a harder time to try to develop that property. We could have done most of the things that M-5 provides us under the current zoning, but now it's just restricted us from multiple things that we could have put into that property if that's where the developer came from.

I find it odd in that if the idea is to try to zone the property for more jobs and for different things why such a small portion would make that much difference along Highway 31. I can't speak so much for the property over by I-94, but even over there if you look at the mass of property that's zoned within this community it's such a small portion I'm not sure exactly what the benefit really is. But the main concern is that, and it's been told to us multiple times, that we've been told that it's called down zoning. I don't know if that's a bad word. I've never heard the word before, but it basically puts us at a disadvantage for the properties that are trying to develop in the area. And we don't think that's necessarily fair. Thank you so much.

Tom Terwall:

Thank you. Anybody else?

Michael Ries:

Hi, I'm Michael Ries.

Tom Terwall:

Need your address, sir.

Michael Ries:

Michael Ries.

Tom Terwall:

And your address.

Michael Ries:

I live in Chicago.

Tom Terwall:

Okay, we need your address.

Michael Ries:

1000 North State Street.

Tom Terwall:

Thank you.

Michael Ries:

Okay. And we've owned this property for over 65 years. I haven't, I'm not that old, but my father has and the family has. And I'm talking mainly about parcel 0300 on the east side of the road. And I understand it's great that Pleasant Prairie is advancing and making all these leaps forward. But when I look around in terms of manufacturing and building and I've seen what's gone on, a number of issues. I did put my land up for sale when they built the new frontage road and took away two and a half acres. And the only inquiries I got were for retail use, no manufacturing. I understand that we want to develop the area for more jobs, more people will move in. But when I look at what's going on already there's plenty of manufacturing, there's plenty of business office buildings that are still vacant. When I drove down here from the I, I mean you look at both sides of 165 and there's vacancies all over.

So what I'd like to do is petition that this one parcel of ours which we've owned for 65 years be grandfathered in to remain retail. And the other issue is it's right on the I, it's the first thing people see when they come into the area into Wisconsin. Do you really want to see a manufacturing structure? And it is going to bring in a great tax basis if you do leave it as retail. I think you can see that from the Outlet Mall right next to us.

Tom Terwall:

Thank you. Anybody else?

Jerry Franke:

Hi, Jerry Franke, WisPark, 301 West Wisconsin Avenue, Suite 400, Milwaukee, Wisconsin. First of all I'm not opposed generally to the M-5, and all of my comments have to do with the interstate corridor, not with the Green Bay Road area. My first concern is I'm really concerned that this going to open the door for distribution centers in that corridor. I think staff has done a great job of trying to avoid that. But I've seen enough marketing pieces out there specifically showing distribution centers that somebody's going to see that and come in and want to put a

distribution center there. And I don't think that's the highest and best use of that. That's a very minor and general or macro concern.

My major concern is that I was pretty surprised that nobody came in and talked to us about this project going forward south of the land we own in the vicinity of the southeast east of the Prime Outlets, north of the Prime Outlets, things like that. That is one goofed up transportation mess over there. And now we're talking about opening up additional area for high traffic generators. I can remember when we went through the Badger rezoning we had to redo the comprehensive plan showing streets and everything like that. I don't see any of that here, and I'm very concerned about what the impact is going to have on the land with the transportation network not being presented for the area south of there. I think we all agree that where the water tower is there, where the traffic comes to 165 doesn't work well because of all the traffic generated at the Premium Outlets. So I would like to see that addressed as part of the true comprehensive plan amendment, not just be part of the land use plan.

And, finally, we've had to sit on our land with 80 some acres of land primarily at the east side of the interchange at 165 and 94. It's very strictly limited to office and other kinds of uses which we have not been able to attract to this location for the 20 some years we've owned it. I think that a master plan for the entire area would have more appropriate than simply picking out M-5 for parts of it. So I would like to see a more truly comprehensive planning effort for this area round the Interstate. We would have liked to have had the parcel we had, I don't know, it's not on any of the maps that Jean has, designated for this same use because we, in fact, talked to the Plan Commission staff a couple of years ago when we had a hybrid user, and they were supportive of that time. When this came about we weren't contacted, and we've had meetings this year. And the first I heard about this was when we got the zoning notice back in early May or whatever it was. Again, just my concerns about a lack of overall planning for the area, particularly the southeast corner of that intersection. Thank you.

Tom Terwall:

Thank you. Yes, sir?

Nicholas Infusino:

Thank you. Attorney Nicholas Infusino, 1108 56th Street, Kenosha, Wisconsin. I represent VPX Farms. They have one of the parcels off of Highway 31. We share the concern the Citizens Bank has that we are now limiting the potential scope of users. We're in an economy that is difficult enough to bring jobs to the area. I don't know if now is the right time to be now limiting certain pieces of land which may bring in a warehouse type use and not permit it. A distribution warehouse is usually a regional facility, so if they like this piece of land versus a piece of land in northern Illinois or Racine we may have the effect of actually driving jobs out of the area into other communities, and I would not want to see that happen.

At a minimum it should at least be a warehouse should be a conditional use, and then it could come back to the Commission and the Commission would have the authority to then determine whether that use is consistent with what you are looking for. I think it's wrong to completely limit that use in this area and on such a limited scope. My client has owned the land for 65 years. He had intentions of alternately using it for a development. He doesn't want to see the zoning

change in such an effect now that it's limiting it's potential scope of the users. So, again, at a minimum we believe that warehousing should be a conditional use. It would come back to you, but we should not be limiting uses of prime real estate in the community especially given the economy. Because, again, we could take the effect of actually driving jobs out of the community and not prospering, creating more jobs through more dense use. Thank you.

Tom Terwall:

Thank you. Anybody else? Anybody else? If not, I'm going to open it up to comments from Commissioners and staff. Don?

Don Hackbarth:

My question is kind of like Mr. Franke. Did we survey any of the existing uses out there to see what they felt about being next to an M-5? Because you know if you have a single family home and somebody proposes to put big multiple family right across the street from you, that might be a little bit upsetting. And I'm saying that with a lesser intense use which we have out there now, putting in a more intense use might be kind of upsetting to the existing tenants out there.

Mike Pollocoff:

In direct response to your question when we do rezone something next to residential they, in fact, have the same opportunity that we're giving tonight for people to come and comment on it. I think that as it relates to the property along the I-94 corridor and south of 116th Avenue where it terminates, I agree that the traffic patterns at the water tower are bad. We made those changes at the request of the developer and Prime Outlets and everybody else to make that curve in the Frontage Road work. And it was fine in the short run, but in the long run it isn't good, and that would have to be something that would be part of the infrastructure plan that would be implemented with the land use plan.

The Village from our standpoint committed significant infrastructure dollars to the TIF to make this area viable. And the improvements that were designed here and also on 31 and some of the areas were sized such that the area would grow and it wouldn't just stay stagnant with the existing development area, but as time went on we would be able to utilize the available capacity in those improvements for additional development at some point down the road. If you think back these improvements on 116th Street and Prime Outlets were put in in the early '90s. That capacity has sat for that period of time waiting for the market to take place and for that utilization.

So I think as we started looking at our limited TIF reserves that we have and able to use and what the greatest return on it is from a public policy standpoint, the land that has already been developed in LakeView Corporate Park, and that's our best benchmark for what happens with development, if you look at the businesses that are more labor intensive they've used up more land. On a per job basis or a per acre basis the amount of public resources through the TIF that have been required to provide services to those have been less. And it actually has had the effect of conserving land use resources for the Village versus the amount of land that's consume for warehouse uses and the return that comes back based on that.

Now, that's not to say that we shouldn't have warehouses. When LakeView Corporate Park was first laid out and planned there was significant warehouse capacity that was identified as part of that plan. But as time goes on and given the amount of resources that we have available do we direct those resources to improvements that are going to create more jobs or create more square footage of building? And when you look at how that rolls out I think from a public policy perspective it's better to have jobs than it is to have space. It's not to diminish the importance of the warehouses we have created, but given how much one of those facilities can use up as far as public infrastructure and the land that goes along with it it's significant.

The amount of land that we have available -- none of these parcels -- we could probably pick up, if we were to consolidate something, you might have four warehouses. And that might be all you could get. Or do we plan for the future development to have more M-5 zoning? I think M-5 is just recognizing if we're going to participate and work with developers to create manufacturing and support office and have that kind of development that gets us the biggest return for our dollar. And it's a difficult return to get.

Going forward assuming the budget's adopted tomorrow or the day after the Village levy is frozen. So we bring in more tax dollars the levy is still going to stay the same. It's going to be more difficult to retire that debt over time. We'll get the one time pop for the value of the building, but in reality what it does is it diminishes the amount of services we can provide to everybody else because our budget is not going to increase but our services and demand will increase. To the extent that the community would realize some job growth would be positive in other areas that we could reflect on. To the extent that we've had a warehouse go in that might be worth \$25 million, an important addition to the community, maybe not that many jobs with it, but I don't think it's the same return that we get on this.

From the staff's perspective we're not trying to limit development in any way, but given the amount of land that we have available outside of LakeView Corporate Park that could be developed my recommendation is if we're going to exercise the utilization of our resources through TIF financing, my recommendation is our best return is on a facility to create jobs and have some high value and not via a warehouse that has some additional space that has yet to be developed. We have plenty of that already in the community. And LakeView Corporate Park is going to develop as it develops, and they can still take advantage within the zoning districts of everything that is in this, and they already have a TIF set up. So I think that keeps going the way it's going. But if we're going to use other resources on these adjacent lands my recommendation is we wouldn't use TIF resources if it's not going to create substantial jobs or other multiplier economics that are going to take place.

The gentleman from the bank and Attorney Infusino I understand what they're saying is they want to be able to have warehouses there. But, again, if they develop that property minus any public participation and it ends up being a warehouse and it's something the community wants and we take that out of zoning, my recommendation is that there wouldn't be any public effort that would be associated with that. If it's something that's going to create jobs and add that value then maybe the community could look at putting some additional TIF resources into doing that. So especially with the [inaudible] parcel. I think that's the parcel where exactly we're trying from a policy standpoint we're recommending tot he Village than rather than having that just general industrial that we focus it in on manufacturing that's going to create jobs. On the parcel that the Bank of Mukwonago has bisected by a power line that could be millions to relocate, I

don't believe from the math I've done on it it wouldn't be worth it to spend resources to relocate a power line to put in a warehouse. There just isn't that much of a return on it.

With respect to the commercial properties, there is one property that in the one that Dr. Ries identified that really abuts the Frontage Road and south of Prime Outlets maybe that's one that we keep it as long as they're willing to hold that as a retail property. But it's been held for quite a while. It's just I think that the other properties somewhat away from the Interstate, not fronting on the Interstate, that could be in this use would be beneficial. We've seen a couple proposals from developers that have brought in proposed buildings that would employ a large number of people, have manufacturing as well as office resources or office uses, and they would be manufacturing. They would be ideal. It would be as nice as any building in the Corporate Park where you have that kind of use.

But just looking at what the Village and LakeView Corporate has accomplished where they've brought manufacturers in that's really brought us the highest return on our investment for the investment we've made in the TIF. And I would strongly urge, and maybe this should be an amendment to the plan, that tax increment financing not be used for any warehouse or distribution where that would be the primary use outside of the existing TIF district. I think we're spending our money in an area that's not going to get us the same return. The financial return on development now in the State is far different than it was two years ago. We have to be willing to extend out the life of these improvements because we're not going to see that gradual -- the growth isn't going to be paying for its way like it used to. That's just the way it is.

I think that's the long answer to one -- I was trying to catch all those points together. I think we've had a lot of good development and I think that continues. This doesn't stop it where we've already spent money and improvements have been made in the LakeView Corporate Park. I think it's a valid discussion to have especially when people are -- I've yet to have a developer not say, gee, I'd really like you to do a TIF for us and give us some money and help us get the sewer and the water and the streets and the roads and the storm sewers and the detention ponds and the lights and the grading. You put those improvements in and I'll sell the land and we'll come up with a building and we'll all make money. Well, there was a time when that was possible, but now those days don't exist anymore. It's not that we're making money, but it's harder for us to retire bonds in the current environment we're in. So I think we just need to be more judicious in where we exercise the zoning district and move forward that way.

Don Hackbarth:

Mike, let me rephrase my question. There's a piece of property you are looking at to change to M-5 fairly close to Uline southeast?

Mike Pollocoff:

Correct. That's the property owned by the Development Authority.

Don Hackbarth:

Did you solicit to see what Uline thought of that?

Mike Pollocoff:

Well, before it was manufacturing. So the only thing that's changed on this is that it's not going to be distribution. And in all our discussions with Uline is they work to keep their distribution away from the Interstate. They're more concerned about what the appearance is of warehousing along the Interstate. Just in some discussions with them they haven't been opposed to what we're proposing.

Don Hackbarth:

Okay.

Tom Terwall:

Jean?

Jean Werbie-Harris:

Also just as a point of clarification on this particular area, this area right here is not currently a high hazard area. They are a low hazard area right now. So you can't even with the M designation they cannot have high hazard uses there at that location. We made that decision a number of years ago when we modified the manufacturing districts when we wrote them. So it's not a use that they're losing because they have not had that for quite some time now.

The second thing is that I don't believe that the Wisconsin DOT with restricted access State highway would give direct access for any type of large users there. So whoever develops in this area is going to have to put in some public infrastructure in order to gain access. And so those are some of those additional costs that Mike was referring to that someone would have to put in. And, again, the more job intensive manufacturing or production or assembly type facilities that come into the Village those are much more positive incentives than larger buildings with fewer employees.

I didn't know if, Mike, you wanted to or Mike Spence wanted to talk a little bit about some of the transportation work that we've been doing lately. I mean I know that Jerry mentioned we haven't been doing a lot of planning, but we've been working pretty intensively on a lot of transportation planning, specifically that which is on 165, Corporate Drive, 120th Avenue, and maybe Mike or Mike want to explain a little bit of some of the things that we've been working on with respect to improving the transportation system which is obviously getting to be a little bit more of a problem out there.

Mike Spence:

As Jean indicates we have done quite a bit of work looking at the transportation plan in that area. Specifically the intersection that Mr. Franke mentioned we realize that that's been a problem intersection. And we are actually looking at trying to get some grant money from the State to actually rebuild that intersection. I don't now, Jean can you show where that is? Right in there.

We also currently have a consultant that's doing a traffic impact analysis for the overall LakeView Corporate Park area, both the east and the west sections. And we're looking at all of the intersections. They've done traffic counts recently, and we're looking at putting together a plan that would identify improvements not only in the Corporate Park where new development is occurring but also potentially on the west end by Corporate Drive and the Premium Outlets. We're looking at all those intersections as well for possible improvements.

We've also had meetings with the Wisconsin Department of Transportation which the State Highway 165 is a State road, of course, as well as the East Frontage Road. So we have initiated planning and discussions for improvements.

Tom Terwall:

Anything else you want to add, Mike?

Mike Pollocoff:

I think just in addition to that, one of the things we did discuss with Mr. Franke is relocating the Frontage Road so it would create a larger parcel for WisPark on that northeast quadrant. And it would be involved as part of getting that Frontage Road and 116th Street area cleaned up so we'd have a better traffic flow through the area. And I really believe some of the numbers that we're going to get from the traffic study is going to be the base that we're going to form what kind of improvements need to be made in this area.

It will help us as parts of the Corporate Park fill up with different types of users that may be more high demand traffic users than we have right now. Now we just kind of deal with them in a case-by-case basis, and it's really hard to ferret that information out, and nobody wants to pay for a traffic study when it's time to do it. So that's why we figure we'll just get it done for the entire park, and then we've got to establish some base information that we can work from. So that work is taking place. And I think it's definitely a more productive way to do it rather than on a case-by-case basis.

Tom Terwall:

Any questions, comments?

Michael Serpe:

Just one. Mike, you mentioned there's been inquiries. Are we getting a number of inquiries or are we putting this out there in hopes to get more inquiries?

Mike Pollocoff:

Recently we've had some more inquiries I think as the economy is picking up. But we have had more inquiries for warehouses, too, to use up some of this land. And that's where I think at least in my mind when we do the analysis on it what's the Village receive on its investment for that. We are seeing more people that are interested in some type of manufacturing with supportive office than we've seen in quite a while. I think the last time we saw this many people proposing

facilities that were labor intensive was probably in the early '90s. You think back to Fair Oaks Farms, the second one, label makers, some of the -- of course, Manutronics and Sanmina.

But we've been through a drought of those kind of uses primarily because of a number of factors. I think it's just the economy and what our utility charges are which we're trying to work on. Now that we've made the investments we've made I think we really just have to be more cautious and judicious about the future ones. And I think at least the people we've talked with that are looking at constructing these type uses have been fairly encouraging. I mean so it's a matter of coming up with something that's feasible, that delivers a good return, and it's something that someone can market and make an investment in and get the project off the ground successfully.

Michael Serpe:

If we move for approval on this what do you recommend on the Ries property that you've mentioned for commercial?

Mike Pollocoff:

Jean and I were just visiting whether or not we did a dual zoning on that for B-3 or M-5. That one kind of sits right on the line. If the comp. plan and the zonings are adopted tonight you'd have those production facilities surrounding that retail site. But on the other hand you'd have them surrounding the Prime site as well. And there is some environmental buffer there that wouldn't be put to waste.

Jim Bandura:

Mike, I wouldn't be opposed to looking at the Ries property to, like you say, B or M-5. Like Mr. Serpe said if we do vote on this would it be our recommendation to either pull that out or modify this to reflect the staff looking at his property?

Mike Pollocoff:

I think it would be a recommendation to modify it.

Jim Bandura:

Modify it? I'm not opposed to this because in my mind it's still manufacturing and it's still bringing in office and retail in with this, with this type of zoning. So I'm in favor of doing this, and I would recommend looking at the Ries property being on the Green Bay side over there. I mean if there's no further questions or concerns I would make a recommendation to approve this with the modification of the Ries properties.

Michael Serpe:

The Resolution 13-07.

Jim Bandura:

Correct.

Michael Serpe:

I'll second that.

Tom Terwall:

IT'S BEEN MOVED BY JIM BANDURA AND SECONDED BY MIKE SERPE TO ADOPT RESOLUTION 13-07 SUBJECT TO RECONSIDERATION OF THE RIES PROPERTY.

Jim Bandura:

Correct.

Tom Terwall:

Leaving that one out for right now.

Jean Werbie-Harris:

No, no, no.

Jim Bandura:

We could modify it.

Jean Werbie-Harris:

Are you recommending to split it or are you leaving it as the regional retail? I didn't understand what you were making the motion for.

Jim Bandura:

What I'd like to see is looking at the property, like Mike said, for B for business.

Jean Werbie-Harris:

That's what it is right now.

Jim Bandura:

It is right now?

Jean Werbie-Harris:

It is right now.

Jim Bandura:

And also manufacturing.

Jean Werbie-Harris:

But it would be one or the other. We could leave it as the red in the regional retail in the comprehensive plan with a footnote that the Village would support the M-5 at that location as well.

Jim Bandura:

Okay, yeah.

Jean Werbie-Harris:

I guess we're not opposed to that, but I mean I can't stripe the map gray and red. It's either going to need to be red or gray.

Jim Bandura:

Okay.

Jean Werbie-Harris:

So if we make it as part of the motion that you're willing to support M-5 as well at this location, and then as the market drives it we see which is the more appropriate use that would be okay.

Jim Bandura:

I agree. And if the Commissioners agree on that --

Tom Terwall:

Then that's the motion, correct?

Jim Bandura:

That's the motion.

Tom Terwall:

That's your second?

Michael Serpe:

Yes.

Tom Terwall:

SO THE MOTION BY JIM BANDURA AND SECOND BY MIKE SERPE THEN IS TO ADOPT RESOLUTION 13-07 WITH THE UNDERSTANDING THAT IN THE CASE OF THE RIES PROPERTY WE WOULD SUPPORT A B-3 DEVELOPMENT SHOULD THAT COME TO FRUITION, IS THAT CORRECT?

Jean Werbie-Harris:

It is B-3 right now, regional retail.

Tom Terwall:

But we're going to make it M-5.

Jim Bandura:

No.

Tom Terwall:

We're going to leave it B-3.

Michael Serpe:

We'll support an M-5 if there's a request for it.

Tom Terwall:

Alright, understood? All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed?

Don Hackbarth:

No.

Tom Terwall:

So ordered. On that same item we need to send a favorable recommendation to the Village Board with that same motion.

Jim Bandura:

For Item B?

Tom Terwall:

No, for Item A. Item A required a vote for us to approve but also to recommend approval by the Village Board.

John Braig:

So moved.

Jim Bandura:

Second.

Tom Terwall:

MOTION BY JOHN BRAIG AND A SECOND BY JIM BANDURA TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD FOR ITEM A. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed?

Don Hackbarth:

Aye.

Tom Terwall:

You're aye or no?

Don Hackbarth:

I vote no.

Tom Terwall:

You vote no?

Don Hackbarth:

No.

Tom Terwall:

Okay. Item B, public hearing in consideration of the zoning text amendments. We need a motion to recommend approval.

Michael Serpe:

So moved.

Jim Bandura:

Second.

Tom Terwall:

MOTION BY MIKE SERPE AND A SECOND BY JIM BANDURA TO RECOMMEND APPROVAL OF THE ZONING TEXT AMENDMENTS. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed?

Don Hackbarth:

No.

Tom Terwall:

Okay, motion carried. Item C, motion to send a favorable recommendation to the Village Board on the zoning map amendments.

Jean Werbie-Harris:

Except for the Ries property his is zoned agricultural right now, and he is remaining in the regional retail. So that property would be excluded from any rezoning. We will leave it the way

it is because we don't prezone commercial land. So that will just stay as agricultural at this time, but it will show up as the regional retail on the comprehensive plan.

Tom Terwall:

Okay. Motion?

Michael Serpe:

So moved.

Jim Bandura:

Second.

Tom Terwall:

MOVED BY MIKE SERPE AND SECONDED BY JIM BANDURA TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO ADOPT THE ZONING MAP AMENDMENTS. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed?

Don Hackbarth:

No.

Tom Terwall:

Motion carried.

6. ADJOURN.

Michael Serpe:

Move to adjourn.

John Braig:

Second.

Tom Terwall:

Motion and a second to adjourn. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? Motion carried.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
June 24, 2013**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on June 24, 2013. Those in attendance were Michael Serpe; Jim Bandura; John Braig; and Larry Zarletti. Thomas Terwall; Donald Hackbarth; Wayne Koessl; Andrea Rode (Alternate #2); and Judy Juliana (Alternate #1) were excused. Also in attendance were Mike Pollocoff, Village Administrator; Jean Werbie-Harris, Community Development Director; Tom Shircel, Assistant Village Administrator; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER THE MINUTES OF THE MAY 13 AND MAY 28, 2013 PLAN COMMISSION MEETINGS.**

John Braig:

Move approval as presented.

Jim Bandura:

Second.

Michael Serpe:

MOTION MADE BY JOHN BRAIG AND SECONDED BY JIM BANDURA FOR APPROVAL OF MAY 13TH AND MAY 28TH MINUTES. ALL THOSE IN FAVOR SAY AYE.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Michael Serpe:

We have two items on the agenda tonight. One is a public hearing. If you wish to make a comment on the public hearing portion of the agenda we'd ask that you hold your comments until that item appears. If you wish to make a comment on anything else now is your time to approach the microphone. Give us your name and address. Anybody wishing to speak? Anybody wishing to speak? No speakers.

6. NEW BUSINESS.

- A. Consider the request of James Ablan agent for Center 50, LLC owner, for the approval of Site and Operational Plans including approval of the Digital Security Imaging System and Access Easement for the redevelopment of the Town N Country Shopping Center located south of STH 50 between 45th and 47th Avenues to be known as Center 50.**

Jean Werbie-Harris:

Mr. Chairman, I would ask that the next item, Item B, also be taken up at this time and discussion will take place at the same time for both items with separate action needed.

John Braig:

So moved.

Larry Zarletti:

Second.

Michael Serpe:

MOTION MADE BY JOHN BRAIG AND SECONDED BY LARRY ZARLETTI TO CONSIDER BOTH ITEMS AND VOTE ON THEM SEPARATE. ALL IN FAVOR SAY AYE.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

- B. PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND ZONING TEXT AMENDMENTS for the request of James Ablan agent for Center 50, LLC owner, for the proposed redevelopment of the Town N Country Shopping Center located south of STH 50 between 45th and 47th Avenues. Specifically, to rezone the property by adding a PUD, Planned Unit Development Overlay District on the property that is currently zoned B-2, Community Business District and a**

Zoning Text Amendment to create the specific PUD District zoning regulations for the proposed redevelopment of said property to be known now as Center 50.

Jean Werbie-Harris:

The second item on the agenda is also related to the same Center 50 development. It's a public hearing and consideration of a zoning map and zoning text amendments. And, again, also at the request of James Ablan, agent, for Center 50, LLC, owner, for the proposed redevelopment of the Town N Country Shopping Center located south of Highway 50 between 45th and 47th Avenues. Specifically, this request is to rezone the property by adding a PUD or a Planned Unit Development Overlay District on the property that is currently zoned B-2, Community Business District, and a zoning text amendment to create the specific PUD District with its zoning regulations for the proposed redevelopment of the property. Again, these items are related, will be discussed at the same time with separate action being required.

The existing multi-tenant strip mall located south of Highway 50 between 45th and 47th Avenues known Town N Country Shopping Center is proposed to be redeveloped and rebranded by the petitioner and to be known as Center 50. The redevelopment and rebranding will include not only a name change, but the petitioner is proposing to make building modifications, site plan improvements to the parking areas and drive aisles and sign modifications. As part of the redevelopment, a Planned Unit Development (PUD) is being proposed. The PUD allows the Village some flexibility with respect to the dimensional requirements for the project of the underlying B-2 District provided that there is community benefit.

The improvements made to the Town N Country facility are intended to provide a newer, cleaner look for the mall as it is rebranded to Center 50, and the petitioner hopes that with the planned renovations, the new Center 50 will provide a better overall shopping experience for the customers and to provide a more attractive business area for future tenants.

The current mall has three tenants which will be retained, Ace Hardware, Autozone and Erica's Jewelry. In addition, Family Dollar has submitted a lease agreement to the new owner with their intent to move into one of the vacant tenant spaces. The rest of the tenant spaces will be prepared for new tenants.

The petitioner proposes to update the entire parking configuration to maximize parking for new customers and provide newly landscaped parking islands to provide an increase in the landscaped green space on the current site.

With respect to site access, parking and landscaping, reconfiguring the parking lot by defining parking aisles with curbed landscaped islands, adding landscaped areas adjacent to 45th and 76th Street and 47th Avenue to the define entrances to the site, to remove the existing entrance to 75th Street and to provide landscaped area adjacent to Safeway Auto property at the northeast of the site.

The propane tank that is the Ace Hardware propane tank is proposed to be relocated to the southeastern end of the parking area. The relocation of the propane tank will require the approval of a new conditional use permit by the Plan Commission and a release of the previous conditional use grant document 04-11 that was recorded at the Register of Deed's office. The required

fencing will be required to match the black coated vinyl fencing, and black slates will be used for the garbage dumpsters, and the bollard will also be painted black. So one of the things that we're trying to do here is actually bring some unity to the entire development and to, again, give it a fresh, updated look to the entire Center.

The current tenant space occupied by Ace Hardware may become available to new tenants when their lease is up in approximately four years. Based on the lease expiration, the proposed site plan has been designed to convert the existing outdoor fenced area currently being utilized for outdoor garden sales and storage for Ace Hardware into 24 additional parking spaces for the use of customers at Center 50.

The Plans provides for 273 parking spaces which includes eight handicapped accessible parking spaces on the north and east side of the building. Again, 24 spaces are currently fenced in by the Ace garden center, and three parking spaces are where the propane tank is located. There will be an additional eight parking spaces provided at the southwest corner of the site. The minimum on-site parking requirements for retail spaces are one space for each 200 feet of primary floor area plus one space for every two employees.

In further discussion with the developer actually even this evening, we evaluated, re-evaluated the numbers that they had provided to us with respect to the leasable space area. And one of the things that I did not take into consideration when I did the initial review is that a certain percentage of the spaces outside of the primary floor area will be used for storage and restrooms and other types of square footage for the tenant spaces. So we are not going to be counting parking spaces for those particular areas. So the calculations that they have provided to us are adequate and will work for the new remodeled Center 50.

No parking for the employees or customer vehicles is allowed in the rear of the building with the exception of the eight parking spaces at the southeast corner. However, if additional parking is required it can be obtained from the area west of 47th Avenue. Again, we've talked about it very clearly now that he doesn't believe that additional parking is going to be needed. I guess what I'm prepared to say is that I'm not going to recommend that we tie up that land west of 47th Avenue, but there needs to be accommodations on this site for parking. No parking is going to be allowed on the adjacent right of ways. It's not going to be allowed in the back of the Center. So based on the square footage we shouldn't have any issues with respect to parking on this particular site.

Lots 9 and 10 of Midwest Highland Subdivision those are the areas that are just west of 47th Avenue. Peggy is going to show you it's just kind of off the site, but it's vacant land now. It looks like it was a parking lot used originally by Town N Country Shopping Center years and years ago. For the most part that area has been sitting vacant. The developer will be required to clean it up and make sure it's properly landscaped and signed if there is any signage over there. But I believe that it's his intention to market that land as future commercial use. Our Comprehensive 2035 Plan does identify it for potential future commercial. Again, whatever use is there needs to make sure that they provide adequate parking for whatever use does eventually go at that location.

Landscape islands are being provided at the end of each of the parking row basically and the Chase ATM will remain, and it's located within a landscaped island. The exterior area

surrounding the parking lot will be green space and landscaped. In addition there will be street trees along 47th and 45th Avenues where there will be some additional landscaping and street trees if that is the final plan for the landscaping along Highway 50 as well. In addition, there will need to be some landscaping at that very southwest corner of the site by 76th Street and 47th Avenue.

Street trees when they're planted will need to be planted every 50 feet in the right of way. We just need to make sure that we're not causing any problems for vision triangles and turning movements. They're also proposing a three foot high decorative fence with brick pillars along Highway 50. And we just needed to clarify I believe that that will be a metal fence, it won't be an aluminum fence, is that correct?

--:

Right.

Jean Werbie-Harris:

The green space adjacent to 47th Avenue and the building on the property will need to have some landscaping, again, at that corner. The new parking area at the southeast corner needs to be clearly defined by that green space. As you know, it's kind of a low area right now. There's some broken asphalt in that area, there's a storm sewer that looks like it's a little broken up. And so all of that is going to be corrected not only at that corner but along the whole back of the Center on the site.

Pursuant to the landscape plan this area is proposed to be turf, low level plants with one street tree shall be planted in the green space adjacent to 47th Avenue. Again, vision triangles because this site is bounded by public streets on all four sides we just have to make sure that there is adequate vision at the various corners.

The green space adjacent to 45th Avenue and the parking area at the southeast corner is proposed to be located within the right-of-way of 76th Street and 45th Avenues. Pursuant to the plan there are only a few trees proposed. We are recommending that those are street trees along that whole right of way as well no different than other developments within the Village. Currently on the site there is limited green space. Again, this is a very tight site. The Center dates back to the late 1950s, so it's a rather tight site so we're trying to incorporate as much green space as possible wherever we can. The plan as proposed would provide 14,700 square feet or 13.9 percent of the 4.7 acre site with green space areas and with an additional 3,347 square feet of green space off site within the right of way adjacent to Highway 50 and 45th and 47th Avenues and 76th Street.

The new light standards will be installed within the landscaped islands on the site. The height of the lights shall not exceed 20 feet in height and the concrete pedestal bases that the lights are on shall not exceed 12 inches above grade. Again, one of the other things we wanted to do is kind of bring those lighting standards down. We've got residential development to the south and to the west, so we want to make sure that the lighting is not excessive and too high for the adjacent neighbors. If the light poles are proposed to be used for security cameras, and some are as discussed below, the lights shall be sized to handle -- in other words the pole needs to be sturdy

and strong enough to handle any cameras and the wind loads that would be associated with having additional cameras for the security system.

A work in the right-of-way permit will be required for all work done with the Village's right-of-way, and that work need to be done by a Village pre-approved contractor. In addition, any work in Highway 50 right-of-way does also need to be done by either a State contractor or by a State approved contractor. I think at one point that the State had identified that they would work with you in order to do that removal of the Highway 50 access driveway. And I think that that's still the intent, correct?

--:

Yes.

Jean Werbie-Harris:

With respect to the building and façade improvements as part of the redevelopment of the site, the building will be modified, it will be updated. The building will now be fully sprinklered pursuant to the Village's fire suppression requirements. And actually some of that work has been ongoing over the last couple of months. The entire building will now be sprinklered, and that is a community benefit since there was never any sprinklers in the building before.

The building façade improvements include:

- Increasing the square footage by 1,565 square feet to a total of for the total building at 60,332 square feet. This small addition will be in three areas at the front of the building to eliminate that alcoves and provide one continuous façade.
- They're going to be removing the canopy and creating a new parapet for the front of the building
- They are reconfiguring the units within the building. There will be 11 total tenant spaces and a basement that will be allowed for storage by the tenants since their sprinkler system has been installed within the building.
- The north or front façade of the building: The current peaked parapet and the covered canopy over the sidewalk and store entrance areas on the front façade will be removed and a new parapet and façade will be added. The main store front areas will be re-glazed with bronze aluminum frames and new doors will be installed. The existing painted brick and glazed tile will be replaced with a new brick veneer, and all windows on the front will be replaced with the exception of the windows on Ace Hardware and Auto Zone areas. And the developer can update us if there's been any change with respect to that.

The new parapet wall will provide a higher elevation, 19 feet, and it will be added at three locations, tenant space 4 occupied by Auto Zone, tenant space 7 to be occupied by Family Dollar and tenant space 11 occupied by Ace Hardware. The tenant spaces between these heights will drop down 3 feet to 16 feet. A band of EFIS is proposed

which will provide space for the tenant wall signage. We've actually also identified specific areas that the signage can be placed on these buildings as well.

- With respect to the west façade or the west side, brick on the west side of the building will remain. And remember that's the side that at one point had I think it was Southport Restaurant and it had Hostess. But at this point that's all going to remain as it is. The windows will remain. The wood trim detail under the window will be removed. The plaster area is going to be painted to match the brick. The entrance doors and the concrete steps will remain, but the steps will need to be repaired, and the door, door frame and rails will need to be painted black, again, to bring that unified color throughout. The canopy area and the brick piers are proposed to remain. However, some of the existing trim details will be removed and the plaster will be repainted to match the brick, again, to take some of that chalet type look off of the west side of the building.
- The south or the rear façade: The existing block wall and metal ribbed panels are proposed to remain unchanged. New guard rails are proposed by each loading dock area and two new dock door areas with stairs are proposed. In addition six new block dumpster enclosure areas are proposed in the rear of the building. The block dumpster enclosures will be at a height of eight feet. Hopefully that will help with respect to the dumpster itself and anything that's inside there. The fence gates are proposed to be chain link with vinyl slats. All metal railings, door frames and doors will all be painted black and remain to be painted black. They can't be painted orange or any other color that a tenant wants to paint them. All back doors shall have lettering stenciled with the tenant space number, maximum height of letters three inches. Areas of the dumpsters and loading docks will be replaced with concrete on the property and within the right-of-way of adjacent 76th to meet the edge of the paved road. Three other areas where heavy traffic is not proposed will remain asphalt from the building to the edge of the road. In addition, the developer is working with We Energies and other utilities to relocate some of the existing poles as well..
- With respect to the east side of the façade, the existing block wall and metal canopy are proposed to remain unchanged. That's where Ace Hardware is located. The metal canopy will likely be removed at some point in the future when the outdoor garden area for Ace is removed.

For signage we are going to be removing that iconic sign out there, and they are going to be bringing the sign down and just updating of the sign so that nonconforming pylon will be removed. The sign is proposed to be 18 feet with 135 square feet of display area for the tenants including the signage area for Center 50. The sign will be placed on a brick base to match the building with landscaped areas, and the address of the center will also now be on the sign. The address letters will need to be three inches high and 18 inches off the ground. I think we're actually also changing the addresses. Are we changes the addresses? So there's actually one address for the Center, and then each of the individual tenant spaces will have like a sub lettering. I'm not sure if it's going to be a suite or a number, but there will be one address for the entire center. The leading edge of the sign is proposed to be set back five feet from the property line adjacent to Highway 50.

With respect to the security, as part of the PUD, the Village is requiring a Digital Security Imaging System so there will be a camera system out on this site as well. The owner will own and operate and maintain the system. The Village will not be the owner of the system. The owner will grant the Village back a blanket easement to maintain the system if at some point that the owner fails to maintain that particular system. The DSIS will need to be inspected and operational by November 1, 2013 or prior to the Village issuing a written certificate of compliance for the building and site improvements, whichever occurs first. There was one correction in the DSIS that they could have up to 12 tenants, 11 to 12 tenants at the Center. And so I just wanted to correct that from 9 to up to 12. I'm not sure exactly how many that they're going to have. But that was only just one typo in that agreement that was attached in your packets.

With respect to the Planned Unit Development Overlay District, as part of the redevelopment, the PUD is being proposed. And, again, the PUD gives the Village some flexibility for the B-2 District provided that there's community benefit, and we've been discussing some of that with respect to the DSIS and the landscaping and the sprinkler system and some of the other upgrades that have been put into this older facility.

Since the property abuts four streets, the B-2 District currently requires that the building be set back 65 feet from the property line adjacent to Highway 50, a minimum of 40 feet from the property lines adjacent to 45th and 47th Avenue and 76th Street. We all know none of those things are happening. Based on this building having been constructed in 1959 it does not meet these setbacks. It's considered a legal but nonconforming structure. So as part of this PUD we are actually identifying all the setbacks from each of the streets, and all of these setbacks we're talking about are going to be incorporated into the PUD. Which means that this will be a legal conforming structure based on the Planned Unit Development requirements for this B-2 District.

So in particular, the building is 17.6 feet from the property line adjacent to 76th Street with concrete steps, loading docks and garbage enclosures with nearly a zero setback. The existing garbage dumpster behind space 13 that is in the right-of-way of 76th Street shall be removed. So we are trying to move a couple things out. The building setback to 45th Avenue and 76th Street shall meet the minimum setback requirements. And the building is set back 8.8 feet from 47th Avenue with the supports of the covered walkway with nearly at a zero lot line setback.

The Village zoning ordinance requires that the parking lots, including fire lanes and maneuvering lanes, be located a minimum of 20 feet from the property lines. The existing paved parking lots are paved to the property lines, and some existing parking adjacent to 47th Avenue is actually located within the right-of-way. In addition, the zoning ordinance requires landscaped islands for every 25 parking spaces. And for the most part those are going to be configured on the site.

The PUD as attached includes the following:

- It reduces building setback to allow a zero foot building setback to 76th Street and 47th Avenue which includes the steps, the docks, the enclosures and the supports for the walkways.
- It allows the detached ATM enclosure to be set back a minimum of 20 feet from property lines.

- It reduces the parking lot setbacks that are clearly defined at entrances and exits are provided to the site from 45th and 47th Avenue and 76th Street and the entrance to Highway 50, and the entrance to Highway 50 is being removed.
- It requires curbed landscaped islands at the end of all parking aisle, and additional landscaping is being provided along the perimeter of the site.
- It allows the primary monument sign to be 18 feet high and setback five feet from the property line.
- It allows a three foot high decorative fence to be located on the property line adjacent to Highway 50.
- It allows the minimum parking spaces to be reduced.
- It allows the minimum open space requirements to be reduced.
- It allows for the construction of detached garbage enclosures in the back of the building.
- It requires that the development be monitored by a Digital Security Imaging System and an access easement provided to the Village.
- And as required by municipal ordinance the building is now being protected by an automatic fire protection system or a sprinkler system.

With that I would like to continue the public hearing and introduce Jim Ablan. He is the owner of the now Center 50. And if you have any questions for him or if he wants to add anything to the presentation.

Michael Serpe:

This is a matter for public hearing, and we just ask for your name and address for the record.

Jim Ablan:

My name is Jim Ablan, and my address is 445 West Roslyn Place in Chicago. And I'm the managing member of Center 50. I guess I will give you a little explanation about what we have and what we're trying to accomplish and be happy to address any issues that may come up. We bought this property about a year ago, and the goal was to redevelop the property. It was in as you well probably know better than anyone pretty sad shape. And so the first thing that we did with the direction of the zoning staff and the fire chief and his staff was to put in a life safety system to put in sprinklers. And we were allowed to go ahead and do that right away, and that's underway. That's more than half done.

And then as we went through the process we tried to identify the tenants that wanted to stay and those that didn't and we're going through that process. And our goal is to modernize the property to put a new face on it, redo the parking lot to bring it into the current standards, to make the

property look like a new property under the theory that given the area that surrounds it that this should be and will be a viable shopping center. And as a part of that Family Dollar who is a known variety store has said that they want to be a tenant. We've signed a lease with them. They've got us under a pretty stringent time table with penalties and enough ability to inflict pain that we're trying to go just as fast as we can go.

We've got a meeting after this meeting. We have a meeting tomorrow at the site at one o'clock with all of the contractors that are keyed up. All the contracts have been pretty well agreed to with the exception of the site work, the final drives. That hasn't been awarded yet, and the underground work for the front of the site hasn't been -- we haven't finalized that yet. But everything else is pretty well set to go.

And the goal is to -- if you build they'll come. And we want to make it look good, we want to make it look modern. We want to have it accessible to everybody, and we want to lease it up. And so the goal is we're going to provide jobs, we're going to provide hopefully a viable center within the community and have it be a shopping center as it should be. As a part of that we've been fortunate enough to be allowed to use portions of outside the area, and we're stretching the envelope because of the constraint site that we're going to pave part of the areas in the back and put landscaping in the areas of 47th Street that really aren't utilized much now. And so it should be good. Should be good. We're hopefully that it will be a credit to what we're about and a credit to the community.

Michael Serpe:

Very aggressive project, very aggressive. Anybody else wishing to speak? Anybody else wishing to speak? Sir? Just name and address for the record please.

Skip Rivers:

Good evening. My name is Skip Rivers. I live at 7611 47th Avenue directly behind AutoZone. And just first I want to say I'm all for commerce coming in. We've lived there since October of '99, but I do have a couple of questions because I have to be concerned about property values and things such as that as far as that goes. But a couple of things as far as deliveries. With AutoZone there is some issues at times, but the Village has been good about keeping them within their time constraints and things such as that. But is it going to be increased deliveries? Do I have to be concerned about that at various times or anything such as that. I don't know if this is the correct forum for that or address it to the developer or through here or whatever?

Michael Serpe:

Go ahead.

Skip Rivers:

Is there going to be increased deliveries as far as times go and things such as that. Because I believe no deliveries after ten o'clock for anything such as that.

Michael Serpe:

Okay, Jean might have some answers to that. Considering the magnitude of the development I'm sure there's going to be more activity.

Skip Rivers:

Undoubtedly.

Michael Serpe:

But as far as reasonable hours of deliveries that's a good question.

Jean Werbie-Harris:

With respect to the hours for delivery when product can come and trucks can come to the site, trucks can idle, the beeping, the backing of the trucks right now it's 6 a.m. to 10 o'clock p.m. is what the ordinance is. And it's not going to be increased beyond that or outside of that.

Skip Rivers:

Okay, that's fine. But they can idle you said while they're sitting there? They can idle?

Jean Werbie-Harris:

Not before 6 a.m.

Skip Rivers:

Or after ten o'clock.

Jean Werbie-Harris:

Right.

Skip Rivers:

Like I said the Village has been very good about that. We've had issues and things as far as that goes. My other concern is on the back end, I'm trying to think of a term to describe it. It doesn't look very nice right now.

Jean Werbie-Harris:

No, it doesn't.

Skip Rivers:

And they came in and they put up those huge bins and high iron walls and whatever. And they're pretty much junk right now. And I'd like to know if there's any assurance that they're going to come up with a better system, one, that allows the wind to go through them. I was in the Navy for 25 years and the latches are all broken and I feel like I'm back onboard ship tied up pier side with the mooring lines creaking just going back and forth, back and forth. And I haven't been diligent lately because it's been winter time and things such as that, but it looks really bad back there, and that's another one of my concerns.

Michael Serpe:

That's been a concern of the Village's as well, and I'm sure you'll be pleasantly surprised when you see the end result.

Skip Rivers:

So are we looking at something new or the same old thing as far as the enclosures for the garbage bins.

[Inaudible]

Jean Werbie-Harris:

That's okay, he just needs to come up and identify himself.

James Ablan:

If you turn around, the plan is to make it look like this. And what the enclosures are is the side is masonry and then the --

Jean Werbie-Harris:

Jim, I'm sorry, can you grab the microphone. We're not picking you up. There you go.

James Ablan:

Okay, so the sides are masonry. They're masonry enclosures. They're eight feet high so that you won't be able to see any trash or any dumpsters or any of that business. The sides, we don't show a side, but they're masonry sides on three sides, and then on the side that we're looking at, the elevation side, it's fencing that has slats in it so that the wind can get through but they have a uniform color. And so then when the truck comes to get the refuse you open those up, and then the pads are big enough that they can slide the dumpster out of the dumpster enclosure, then the truck picks it up and dumps it and puts it back down. And then they're required to put it back in place, close the door so that except for when the truck is there picking up the trash this is what you would see.

Skip Rivers:

They didn't keep them up. My question is if a latch breaks or whatever is something going to be there to repair it.

James Ablan:

That's me. We're going to build them, they're going to be new.

Michael Serpe:

Sir, whoever is going to talk let's get them on the record.

James Ablan:

This is Andy Surdrowski, the architect.

Michael Serpe:

Name and address.

Andy Surdrowski:

Andy Surdrowski, 4801 Emerson Avenue in Palatine. The trash enclosures currently I believe they're made from wood, wooden gates and everything. And, again, here's the plan that I'm showing you. And it's going to be three sided block walls, and the front, again like Jim Ablan said, is going to be chainlink fence with black slats in there so everything is covered. And latches and everything is going to be maintained by --

--:

It should look good.

Andy Surdrowski:

It's all going to be brand new. Everything is going to be removed from the back, the old trash enclosures, and we're going for building everything new, from scratch.

Skip Rivers:

I have a list here, I hope you don't mind. I've got a couple of things here.

Michael Serpe:

That's what we're here for.

Skip Rivers:

Okay, appreciate that very much. The propane tank, when it's moved is that going to be an underground also with the tanks or is it above?

James Ablan:

Our plan is to move the propane tank from the front of the center to back here next to this island. And then to landscape that island so that the tank is screened. In fact, if you look at it on the map if you could do the pointer that's where we're looking to move it to. And then you see the landscaped island just below it? The idea is to landscape that island, and then you've got the other landscape buffer. They want to sell propane. The hardware store wants to sell it.

Skip Rivers:

I go there, I buy my propane there.

James Ablan:

But we're trying to put it in a place that's as inconspicuous as possible.

Skip Rivers:

Is there barricades from some idiot from a car?

James Ablan:

I think that that's a legitimate question. If someone were to ram into that thing and have it blow up would not be a very good situation. So the thing that we'll do is they'll put bollards around it the way that are around the one up on top and it will be secure.

Skip Rivers:

Okay, thank you. As far as the parking I have a concern on the northwest side here down on the corner here that you plan on adding. My concern is --

Michael Serpe:

Take the microphone with you.

Skip Rivers:

I'm sorry. Little out of practice. I live here. This is a four way stop here. And ever since we've lived here people roll this stop sign.

Michael Serpe:

They roll through stop signs all over the city.

Skip Rivers:

I understand that but I live right here. We've got kids, autistic kids, there are a number of kids right there. And it's hit or miss a lot of times, but when people come, the people with the motorcycles and their vintage cars, whatever, that's when they decided to lower the hammer to haul tail up there. And I'm concerned about parking right there, safety measures, people backing out, pulling in and people rolling those stop signs. It's just something I just want to make you aware because that is a problem.

James Ablan:

I can address the plan. There's a parking lot there now. And our plan was to have that be for employee parking.

Michael Serpe:

Take the microphone, Jim.

James Ablan:

The plan is for employee parking to be in this area for these people, and for the people in the center we're going to ask them to have their employees park over here. And a part of the development is that we've got rules and regulations that now go into the leases. The only tenant that will not be subject to the rules and regulations only because we don't have the right to impose on them is the AutoZone. The hardware store we have the right to and have asked them to follow the rules and regulations and the same with Erica's who signed a new lease. So we're going to have to work with the AutoZone a little bit to get them to come along.

Skip Rivers:

The people driving, not necessarily the ones going there but going back and forth. And I believe I just have one more. As far as the digital cameras, as far as where they're located, can I ask they just not be pointed in my backyard when I'm sitting back there drinking beer or whatever. Actually that's the question I have as far as where they're going to be pointing in as far as my backyard.

James Ablan:

I can show you where they're going to be pointed. We hadn't planned on pointing them at you. We can make the video available [inaudible] although there is going to be --

Michael Serpe:

Take the microphone.

Jean Werbie-Harris:

Jim we have it and we can show you.

James Ablan:

There is going to be one pointed here at that corner. So any of those kids that are doing whatever they do that they shouldn't be doing --

Skip Rivers:

Skateboarders.

James Ablan:

-- at that corner they'll be doing it on camera. That may slow them down a little bit.

Skip Rivers:

I believe that's all the questions I have so thank you very much.

Michael Serpe:

Thank you. Anybody else wishing to speak? Anybody else? We'll close the public hearing and open it up to comments and questions. Jean, go ahead.

Jean Werbie-Harris:

I just wanted to mention three things about Ace Hardware. Like any violations that are out there or any things that have kind of lived their useful life out there such as their plastic banner sign that has to come down. They have to have the same signage as the rest of the Center. They have an Ace truck that they use. That's going to be redirected, and they're going to have to park it in a very specific inconspicuous area in the back. It's not intended to be used as advertising signage. They need to get a conditional use when the propane tank gets relocated, and that will come back before the Plan Commission. And then just one other thing I wanted to mention and that is in a November 13, 2012 email between the fire department and a sprinkler contractor basically they agreed on some locations with respect to the new fire hydrants and such, and that will get all worked into the staff comments that we discussed.

Michael Serpe:

Larry?

Larry Zarletti:

Sir, I appreciated your comments. I am also your neighbor and I have been watching this very closely. I was also concerned about the rear of the building. It's been just a disaster. We have a nice subdivision. Most of the people there take care of their things, and that was just a terrible

eyesore, so I welcome them to come in and to clean that back up. And I believe that the new plan that they're putting in place is actually going to be good for the whole neighborhood. And then, of course, what they're doing with the front and making it all look more like the year 2000 I think it's going to be good for all of us. So I'm looking forward to it, and I've got your back on that.

John Braig:

The illustration we've got here is very nice, very neat, looks great. I note at the Ace Hardware end the garden center doesn't exist. Are there any restrictions on outdoor display or sales or storage?

Jean Werbie-Harris:

We do have some, and the staff is going to be sitting down with Ace Hardware. With respect to the new development, yes, there's restrictions with respect to that. Ace had some things grandfathered in, but we are going to sit down with them to kind of do an image update on their stuff as well because it cannot exist the way it is. And, in fact, there had been some discussion with Jim and their corporate owners with respect to doing some updates, and I would like to pursue that with Ace Hardware, and I'm going to be doing that with them.

John Braig:

Will we get a chance to kick the can?

Jean Werbie-Harris:

Sure, yes.

Larry Zarletti:

Are you talking about the fenced in area where the mulch --

John Braig:

They've got outdoor storage, they've got a temporary storage facility, I don't know what you call it but it sits there. They've always got the whole front of the store outdoors is loaded with chairs or bags or flowers or various insundry. Is that to be continued or is that objectionable or haven't we decided?

Jean Werbie-Harris:

Again, it won't be continued the way it looks today. The whole front of the facility is going to look much different, and so they're not going to really have a canopy to be under I don't think for anything. So, again, I need to have some conversations with Ace Hardware and their corporation.

John Braig:

It needs to look different.

Jean Werbie-Harris:

And one of the other things is that we do need to get a new conditional use, and when you issue a new conditional use permit there can't be any existing violations or issues with respect to your space in order to get a new permit from the Village. So we'll be working through that with them.

John Braig:

Good.

Larry Zarletti:

I don't think I really -- I mean the side of it does look a little goofy for the most part. But the front of it it's a hardware store. So if they've got a lawnmower sitting out there, they're going to display a few snow blowers I mean it looks fine. They take them in at night, that kind of thing. A couple of those chairs, I suppose they could display the chairs inside. But I want to be careful not to dictate too many things like this hometown Ace Hardware store or any other business for that matter. And so if that's what they need to do to display their wares to put a snow blower out front for the day and bring it in at night those types of things I would support. So I hope that when we're swinging whatever we're swinging to get it squared away we don't swing it too hard.

Michael Serpe:

I was in Ace just two days ago, and it's crowded. They brought everything in and the aisle space is limited, the storage space they have is limited. I agree somewhat with Larry that it's a hardware store, people buy impulse buying, they see a lawnmower or let's take a look at the snow blower, let's take a look at the lawnmower.

John Braig:

Originally that was a supermarket, wasn't it?

Michael Serpe:

Originally yes. But it's limited on space and it is crowded in that store. And I hope for their success in the future but you don't know.

Mike Pollocoff:

I really think that not tonight but I really think it's a conversation for the Plan Commission to have to think about, and you see it happening all over as municipalities adjust their zoning standards for outdoor seating, getting some of the business out in front of a place. It has to be well done, it has to be done in a way so we don't have pallets of things stacked up in front of a business. But I think it does take away some of the sterility of some buildings for somebody to market outside of their place. And it's really defining where the limit is, how far can we go on it.

But I think as time goes on and you look at how smaller businesses are marketing their wares or marketing what it is they sell, whether it's a local hardware store which is classical, but even if you go to Menards or if you go to Lowe's you think about how much stuff that they have out. And it's just finding a way for a smaller business to be able to take advantage of the business presence there and have a somewhat organized way or a way that isn't going to diminish the ability of the traveling public or the pedestrian public to walk by their business, come up in and see what they have. It is things that have to go back in at night.

But I think as we move forward as we start seeing more local businesses hopefully in some of our areas I think we shouldn't -- before we get really restrictive and say nothing on the streets, nothing out there, I think the municipalities are changing their standard to allow some more things out there, to allow a business to have what they sell or what their service is to engage the public in front of their establishment. I think that we just say no we want everything inside and we don't want anything outside we can do that. But I'm not sure if it's really setting the flavor for what we want to have for small businesses to be able to have here.

James Ablan:

I'd like to address this point if I may for a moment. Currently Ace Hardware has an enclosed area that is quite narrow. I don't know if it's shown on that. Yes, it is shown on that plan. If you look closely it's inside the current plan [inaudible]. Currently the Ace Hardware outdoor space goes like this. And the plan that we've designed, actually that Andy has designed, we've helped him along the way, we're able to increase their space and not give up any parking so that theoretically you could have a sliding gate here and here where you could have a drive through access that would be screened on this side that they could have all of their outdoor wares outside, or alternatively they could have all of their outdoor wares under a canopy.

If they'd like to take out the storage container that they have here there's enough room here for them to put their greenhouse, to be able to leave all their stuff outside that's outside, to be able to have drive through access, to be able to have it screened from the other tenants and from everybody else. There's a way that this can work for everybody. What we need to accomplish is to have a little bit of cooperation across the board from them and some understanding from everybody so that -- and we've talked to Jean about this, about what we could do with them to open up this area. And we got a favorable response if we can just have the screening be so that the people that live around there can have it look the way they would have it look, and they can have the outdoor space. And then we want a little cooperation from Ace. We've got some issues with them in terms of the fire marshal wants them to put a fire door in the back as opposed to the wood door that is there now that needs to be replaced. We've got a few issues, but hopefully we'll be able to get to this and it can work for everybody.

Michael Serpe:

Any other questions? What's your pleasure?

Jim Bandura:

I move for approval for approving this Center 50 planned development.

Michael Serpe:

Is that Item A, the site and operational?

Jim Bandura:

Site and operational also. Well, the first one.

Michael Serpe:

We'll take one at a time. Let's work on Item A first.

Jim Bandura:

Item A.

Larry Zarletti:

Second.

Michael Serpe:

MOTION MADE BY JIM BANDURA AND SECOND BY LARRY ZARLETTI FOR APPROVAL OF SITE AND OPERATIONAL INCLUDING APPROVAL OF THE DIGITAL SECURITY IMAGING SYSTEM AND ACCESS EASEMENT, IS THAT RIGHT?

Jim Bandura:

That's correct.

Michael Serpe:

All those in favor say aye.

Voices:

Aye.

Michael Serpe:

Opposed?

Jim Bandura:

Now Item B. I move for approval on Item B.

Larry Zarletti:

I'd also second that.

Michael Serpe:

MOTION MADE BY JIM BANDURA AND SECONDED BY LARRY ZARLETTI FOR APPROVAL OF THE CONSIDERATION OF A ZONING MAP AND ZONING TEXT AMENDMENTS. ALL THOSE IN FAVOR SAY AYE.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Thank you. Good luck. When is the project anticipated to be completed?

James Ablan:

The goal is to have all of the construction in place by August 31st at 12 p.m. Then the meter starts ticking on the -- we've got penalties [inaudible].

7. ADJOURN.

Larry Zarletti:

Move adjournment.

John Braig:

Second.

Michael Serpe:

Motion made and seconded to adjourn. All those in favor say aye.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Thank you.

Meeting Adjourned at 6:49 p.m.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
July 8, 2013**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on July 8, 2013. Those in attendance were Thomas Terwall; Michael Serpe; Donald Hackbarth; Wayne Koessler; Andrea Rode (Alternate #2); Jim Bandura; John Braig; and Judy Juliana (Alternate #1). Also in attendance were Mike Pollocoff, Village Administrator; Jean Werbie-Harris, Community Development Director; Tom Shircel, Assistant Village Administrator; and Peggy Herrick, Assistant Zoning Administrator.

1. CALL TO ORDER.

Tom Terwall:

I seek your indulgence and I want to make one minor change in the agenda. Last night, at 12:30 this morning Pleasant Prairie rescue was called to a residence for a patient for a possible heart attack. They went to the home of Larry Zarletti. They were able to revive him, brought him to the hospital. In fact, he was conscious and alert talking to the paramedics as well as talking to the doctors. But once he got to the ER he coded again. They were unsuccessful in bring him back, and so Larry has passed away. And in his memory as a memory of the Plan Commission I'm going to begin the meeting with a moment of silence to reflect upon Larry. Thank you.

2. ROLL CALL.

3. CORRESPONDENCE.

Jean Werbie-Harris:

I have none this evening.

4. CITIZEN COMMENTS.

Tom Terwall:

If you're here for an item that appears on the agenda as a matter for public hearing, we would ask that you hold your comments until the public hearing is held so your comments can be incorporated as a part of the official record. However, if you're here for an Item either C or D or an item that does not appear on the agenda now would be your opportunity to speak. We'd ask you to step to the microphone and begin by giving us your name and address. Is there anybody wishing to speak under citizens' comments?

5. NEW BUSINESS.

A. PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND ZONING TEXT AMENDMENT for the requests of Thomas J. O'Connell Jr. agent

on behalf of Christopher and Susan Tenuta, owners of the property located at 7804 Cooper Road to rezone the property from R-4 (UHO) Urban Single Family Residential District with an Urban Landholding Overlay District to R-4 (UHO) (PUD), Urban Single Family Residential District with an Urban Landholding Overlay District and a Planned Unit Development Overlay District; and to create the specific PUD District zoning regulations for the one (1) single family home development of the property.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this is a request for a zoning map and text amendment for the request of Tom O'Connell, Jr., agent on behalf of Christopher and Susan Tenuta owners of the property located at 7804 Cooper Road. The request is to rezone the property from R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District, to an R-4 (UHO) (PUD). Again, the PUD is a Planned Unit Development Overlay District; and to create the specific PUD district zoning regulations for the one single family home development of the property.

As shown on the slide, the petitioners are requesting to construct a single family home and up to six accessory buildings on the 30 plus acre property located at 7804 Cooper Road. The property is bounded on the north by the Union Pacific Railway, Cooper Road on the east. It's just north of 79th Street on the south, and it is just to the east of 55th Avenue.

The property is currently zoned R-4 (UHO). Again, that's an Urban Single Family Residential District with an Urban Landholding Overlay District. The R-4 District allows for a residential lot to have three detached accessory buildings, each of which do not exceed both the first floor living unit square footage area of the house and the total height of the house. The new house shall connect to both municipal sanitary sewer and water services.

The petitioner is not proposing to subdivide the property at this time and is only proposing to reconstruct one approximate 4,500 square foot single family home on the property. This area of the Village has restricted sanitary sewer capacity; therefore, any future land division cannot occur until such time that sewer capacity is made available or an analysis is completed to determine the capacity of the sewerage system.

The new home is proposed to be located at the same general area of what was an home that had been previously razed. In addition, the owner is proposing to construct up to six accessory buildings on the property that vary in size with the largest being 6,000 square feet. Examples of the accessory structures include but are not limited to: one well pump housing, two gazebos, one or more garages, and a pool or deck. Therefore, to allow for some flexibility in dimensional requirements of the zoning ordinance, the petitioner has requested a Planned Unit Development or a PUD for the property in order to accommodate up to six structures on his 30 acres of land. A PUD can only be approved provided that there is community benefit for the development project.

Based on the foregoing, the property is proposed to be rezoned from R-4, (UHO) to R-4, (UHO), (PUD). In addition, a Zoning Text Amendment is proposed to be created for the specific PUD District zoning regulations for the one single family home. The following variations are included within the PUD Ordinance:

1. To allow up to five detached structures each less than 2,000 square feet on the property and one detached structure between 2,001 and 6,000 square feet subject to the following restrictions:

If the structure is 1,000 square feet or less in area then:

- Said structure shall be a minimum of 10 feet from a principal structure;
- Said structure shall be a minimum of: five feet from any other accessory structure that is less than 1,000 square feet in size; 10 feet from any other accessory structure that is between 1,001 and 2,000 square feet in size; and 25 feet from any other accessory structure that is greater than 2,000 square feet in size;
- Said structure shall be a minimum of 20 feet from any side or rear lot line;
- Said structure shall be a minimum of 20 feet from any rear street lot line adjacent to the right-of-way and shall be at least a minimum of 100 feet from the front street lot line which is at Cooper Road adjacent to a Village's right-of-way;
- Said structure shall not exceed 20 feet in height as measured from the grade at the base of the structure to the highest roof ridge;
- Said structure shall not be used for human habitation or animal shelter; and
- Said structure shall be located a minimum of 25 feet from wetlands on said property.

We also have similar requirements if one of the six structures is between 1,001 square feet and 2,000 square feet in area. Again, it shall not be located in the front street yard. And then in looking at all the other requirements the setback from the principal structure is now 15 feet and then it goes on from there. I can go through all the very specifics for you. But basically we increase the footage distance as we get an increased size in an accessory structure.

And then finally with respect to the last category between the 2,001 and 6,000 square feet the structure shall not be located in the front street yard. Again, that's the Cooper Road area. The structure shall be a minimum of 20 feet from the principal structure of the house. The structure shall be five feet from any other structure that's less than 1,000 square feet in size; 10 feet from an accessory structure that's between 1,001 and 2,000 square feet; and 25 feet from any other structure that's greater than 2,000 square feet in size. The structure shall be a minimum of 200 feet from a side or rear lot line and 250 feet from the rear lot line adjacent to the Village's right of way to the west. The structure shall not exceed 29 feet in height as measured from grade at the base of the structure to the highest roof ridge. And the structure shall not be used for human habitation or animal shelter. The structure shall be located a minimum of 25 feet from any wetlands that may be on the property.

2. The second point was that a swimming pool may be located within a front street yard provided the swimming pool is located a minimum of 100 feet from the right of way of Cooper Road, and it also complies with all other requirements of the Village ordinance.
3. The original 6 foot high historic stone pillars and stone wall which mark the corners of the original driveway entrance of the property on Cooper Road may be allowed to be re-installed but no closer than they are currently located to the Cooper Road travel pavement. The stone pillars and stone wall proposed at the driveway entrance on Cooper Road may be replaced just inside the right-of-way subject to the approval of the Village Board and subject to owners executing and providing an indemnification and waiver of liability to the Village, obtaining the proper Village fence or work in the right-of-way permits and providing verification that these pillars/stone wall will not impact the traveler's vision when entering and exiting the site and will not compromise the Village's road work operations, as determined by the Village.

So in consideration of the above noted numerical and dimensional variations or modification requirements, the Village will require as part of the required community benefit that any accessory buildings over 3,500 square feet be serviced with an automatic residential fire sprinkler system and follow the recommendations as set forth by the Fire & Rescue Department. According to the Chief, due to the proposed size of this particular accessory building, a private water lateral from the public water main should be extended to serve the residential fire sprinklers, and an early warning system should be provided as an appropriate precaution and safeguard towards protecting not only the owner and his family's safety and welfare but those of the abutting neighbors and the Village as a whole.

Just a final comment, the property is located within the Country Home Neighborhood, and pursuant to the 2035 Comprehensive Land Use Plan Map, this property is located in the upper medium density residential neighborhood, and it has an urban reserve designation. The proposed zoning map amendment would be consistent with the Village's Comprehensive Plan as well as any existing neighborhood plans for that particular area.

What I'd like to do now is introduce Tom O'Connell who is the architect and the representative for the Tenutas, and he can explain things a little bit further with respect to their request this evening.

Tom O'Connell:

Good evening, Tom O'Connell, 600 52nd Street, Suite 220, in Kenosha. I'm here on behalf of my clients, Chris and Sue Tenuta, and also with me is David DeBartello from our office who is going to kind of fact check me on any issues that may arise. We're looking, as Jean thoroughly explained, to construct a single family home on a 30 acre site pretty much consistent with the location of the previous home. And existing on the site is an existing gazebo structure, there's an existing well house, and there was a previous detached garage that has subsequently been torn down. We're looking to develop the project very similarly, same location, a little smaller in scale.

And one of the issues that we have is just the detached garage. This would be a 6,000 square foot garage which would be approximately 60 feet by 100 feet in dimension which will allow my clients to -- they have an RV that pulls a trailer, and they would be able to pull the RV and the trailer into the garage without having to detach it into multiple components. And then the balance of the garage would be for a couple other vehicles, perhaps motorcycles and things of that nature. So that's the primary issue I think with regard to the detached structures. The 6,000 square feet is a large garage. However, when you consider a 30 acre lot it is fairly small in scale compared to the size of the lot.

There was an image up there showing the south and west facades. As you can see the south facade this is kind of the view from the house. And then the west facade this is as viewed from kind of the west property line. It would be set back over 250 feet from the west property line. And there's some existing vegetation in there that this would tuck into nicely that will help screen it from view especially from the west. From the east we're not even sure if it's going to be visible with the tall stand of oak trees and all the vegetation along Cooper Road. So we do have the aerial view here. You can see Cooper Road runs through here. We've got kind of a nice open green prairie area, all the oak trees in this area, a lot of trees and low vegetation to the south. And the west property line is substantially screened from view. So I'm here to answer any questions you might have in relation to the architectural features.

Tom Terwall:

Thanks, Tom. This is a matter for public hearing. If there's anybody wishing to speak now would be your opportunity to speak. We'd ask you to step to the microphone and begin by giving us your name and address. Anybody wishing to speak under citizens' comments? Seeing none, I'm going to open it up to comments from the Commission and staff. Don?

Don Hackbarth:

I kind of like the larger garage, and the reason being it's kind of nice to put RVs away. A lot of people around here have them outside, and it's not the most attractive site. So I would be in favor of the larger shed.

Tom Terwall:

I have a question. Mike, there's been some discussion at some point about enlarging the retention basin at the front of that property. Is that still under consideration?

Mike Pollocoff:

It is part of the master drainage plan for that area. We would need to at the time that we're ready to go with that we would need to acquire some land from Mr. Tenuta as well as Mr. Dano's property. And then there would be the construction of a 60 inch storm sewer from 80th Street south to this point. And this water would then in turn drain back to the detention basin behind 57th or 55th, and then as it released it would come back down 80th Street. So very expensive project. Right now the couple times we've checked we haven't had any support from the City to pay for their share of it. So we have a design done and it's sitting there.

And to be honest with you, and the City really benefits more from this than the Village residents do because the flooding occurs on that street just east of Cooper Road. There's some flooding that occurs by Dr. Crawford's office and those areas there, but the primary purpose would be to mitigate flooding that occurs in Kenosha. So until the City and the Village work that out I think it just stays the way it is.

Tom Terwall:

Are there any restrictions placed on Mr. Tenuta as far as building a building that would interfere at some future point when you do expand that retention basin?

Mike Pollocoff:

We certainly if he submitted a building plan as far as the topography of that area and the lay of the land we wouldn't recommend anything that would be in that area because it would be subject to being downstream from the prevailing flow of water. So I don't think that would be in his interest to begin with, but we would catch it at that point.

Tom Terwall:

Thank you. Anybody else? Wayne?

Wayne Koessl:

Mr. Chairman, unless other Commissioners have questions or problems I'm ready to make a motion.

Tom Terwall:

Proceed.

Wayne Koessl:

I move that we approve the zoning map and text amendment and send it to the Village Board for approval.

Jim Bandura:

I'll second.

Wayne Koessl:

And also I think this is an outstanding plan for that property.

Tom Terwall:

IT'S DEFINITELY AN UPGRADE. A MOTION BY JIM BANDURA AND A SECOND BY WAYNE KOESSL TO SEND A FAVORABLE RECOMMENDATION TO THE

VILLAGE BOARD TO APPROVE THE ZONING MAP AND THE ZONING TEXT AMENDMENT SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. The second one, Jean, do you want to discuss that, or have you said all you need to say about that as well?

Jean Werbie-Harris:

Actually the map and the text amendment were all part of the same motion. I believe I heard that from the Plan Commissioners. So if we have agreement that both were taken up with the one motion.

Tom Terwall:

Welcome. I look forward to seeing your building.

B. PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT to amend the definition of Auxiliary Permitted Use in Section 420-152 of the Village Zoning Ordinance.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this is a consideration of a zoning text amendment to amend the definition of auxiliary permitted use in Section 420-152 of the Village zoning ordinance. On March 11, 2013, the Plan Commission adopted Resolution 13-04 to initiate amendments to the Comprehensive Plan, the Village zoning ordinance and Village zoning maps related to the creation of a new district, the M-5, Production Manufacturing Zoning District, that would allow for a specific manufacturing, production and office uses located on properties located adjacent to the LakeView Corporate Park. On June 17, 2013, the Plan Commission held the public hearing, and the Board adopted the new M-5 District regulations as well as the Comprehensive Plan and the map amendments.

The new M-5 zoning district reflects an enhancement of the Village's public policy of sound and diversified economic development. While there had been and still are sufficient economic opportunities for the construction of warehouses and distribution facilities in the existing corporate parks, it's important to conserve land resources and economic infrastructure support in order to assist in providing more employment in the Village. The new district also serves to promote and encourage production, manufacturing and office-related employment as the primary uses with warehousing and distribution to be ancillary or secondary uses in the district.

As we discussed at the June 17th public hearing, in order to avoid any conflicts in the ordinance with respect to the definition for auxiliary permitted uses, we need to make a slight amendment. The definition in 420-152 is proposed to be amended to read as follows. And then the proposed changes a shown on the slide are bolded and highlighted. Those are the changes we're making. So an auxiliary permitted use is a principal use that is a permitted use only when it is auxiliary or secondary to one or more permitted uses located in a principal building and that it's located in the same principal building as the permitted uses. And this is the second part of the definition, and for any retail or service auxiliary uses it is designed to serve the needs of the occupants of the principal building, has no dedicated outside entrance to such building and has no signage visible from the exterior of such building. So with that I would like to continue the public hearing.

Tom Terwall:

This is a matter for public hearing. Is there anybody wishing to speak on this matter? Anybody wishing to speak? Seeing none, I'll open it up to comments and questions from Commissioners and staff.

Don Hackbarth:

Move approval of the amendment.

Michael Serpe:

Second.

Tom Terwall:

IT'S BEEN MOVED BY DON HACKBARTH AND SECONDED BY MIKE SERPE TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE ZONING TEXT AMENDMENT SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

C. Consider the request of Chad Navis, agent for Towne Lakeview LLC owner of the property located at the northwest corner of STH 31 and 99th Street for a one (1) year time extension of the Site and Operational Plan approval for a proposed 99,000 square foot speculative industrial building.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and audience, this is the request of Chad Navis, agent for Towne Lakeview LLC owner of the property located at the northwest corner of Highway 31 and 99th Street in the LakeView Corporate park, and this was for site and operational plan approval for a proposed 99,000 square foot speculative industrial building.

As you recall maybe, on July 9, 2012, the Plan Commission conditionally approved site and operational plans for the petitioner to develop the vacant parcel located at the northwest corner of Highway 31 and 99th Street. It's Lot 2 of certified survey map 2686. At that time they were proposing to construct a 99,000 square foot speculative industrial building and with the possible future expansion of 77,000 square feet. The industrial building will be referred to as Towne VI.

The Plan Commission conditionally approved the site and operational plans for one year until July 9, 2013 subject to the conditions as specified in the attached approval letter dated July 19, 2012. Prior to the expiration of the approval all conditions of the approval needed to be met, and permits needed to be issues unless, of course, they request an extension which they have in this particular case. So they are requesting a one year approval extension of the site and operational plans for the Towne VI for the 99,000 square foot speculative building. And they are requesting it until July 9, 2014. And any and all conditions that were approved that it was subject to approval those would be those same conditions. Or, if there's any new specific amendments that come before the Plan Commission and the Board and the zoning ordinance it would be subject to those amendments as well.

Tom Terwall:

Chad, anything you wanted to add? Comments or questions? Come on up.

Chad Navis:

Chad Navis, Zilber Property Group on behalf of Towne Lakeview LLC, 9560 58th Place, Kenosha. I can certainly answer any of your questions. I don't have an agenda in front of me. I assume this applies --

Jean Werbie-Harris:

This is the first one. The next one is on.

Chad Navis:

Okay, so it's coming. Same concept applies for the other scenario.

Tom Terwall:

Thank you.

Michael Serpe:

The last time we started granting extensions we went into a recession.

Tom Terwall:

This is a result.

Wayne Koessler:

Mr. Chairman, move approval.

John Braig:

Second.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY JOHN BRAIG TO APPROVE THE ONE YEAR EXTENSION FOR THE PROPERTY LOCATED -- FOR THE 99,000 SQUARE FOOT BUILDING LOCATED AT THE NORTHWEST CORNER OF STATE HIGHWAY 31 AND 99TH STREET FOR ONE YEAR. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

D. Consider the request of Chad Navis, agent for Towne Lakeview LLC owner of the property located at the northwest corner of STH 31 and 99th Street for a one (1) year time extension of the Site and Operational Plan approval for a proposed 176,000 square foot speculative industrial building.

Jean Werbie-Harris:

And Item D on the agenda was to consider the request of Chad Navis, agent for Towne Lakeview LLC owner of the property located at the northwest corner of STH 31 and 99th Street for a one year time extension of the site and operational plan approval for a proposed 176,000 square foot speculative industrial building.

As you will recall, they had requested approval of two versions of this particular building plan, a 99,000 and then the second one was for 176,000. So their request is the same that they're asking for a one year extension for the conditionally approved site and operational plans until July 9, 2014 subject to the conditions specified in their approval letter and subject to any and all conditions that may develop between now and then. The staff recommends approval of their request again subject to the comments and conditions as outlined in the staff memo.

Tom Terwall:

Jean, so in other words they would have built either one or the other, not both?

Jean Werbie-Harris:

Correct.

John Braig:

Move approval.

Wayne Koessl:

Second.

Tom Terwall:

MOVED BY JOHN BRAIG AND SECONDED BY WAYNE KOESSL TO APPROVE THE ONE YEAR EXTENSION FOR THE SITE AND OPERATIONAL PLAN FOR THE CONSTRUCTION OF THE 176,000 SQUARE FOOT BUILDING TO BE LOCATED AT THE NORTHWEST CORNER OF STATE HIGHWAY 31 AND 99TH STREET SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

6. ADJOURN.

John Braig:

Move adjournment.

Michael Serpe:

Second.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

We stand adjourned.

Meeting Adjourned at 6:27 p.m.

- A. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AMENDMENT** to consider the request of James and Linda Carpenter, owners of the property located at 11450 23rd Avenue to rezone the property from R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District into the R-4 (AGO), Urban Single Family Residential District with a General Agricultural Overlay District.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map Amendment** as presented in the Village Staff Report of July 22, 2013.

VILLAGE STAFF REPORT OF JULY 22, 2013

CONSIDERATION OF A ZONING MAP AMENDMENT to consider the request of James and Linda Carpenter, owners of the property located at 11450 23rd Avenue to rezone the property from R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District into the R-4 (AGO), Urban Single Family Residential District with a General Agricultural Overlay District.

The petitioner is requesting a zoning map amendment to rezone the property located at 11450 23rd Avenue from R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District into the R-4 (AGO), Urban Single Family Residential District with a General Agricultural Overlay District. The petitioners are requesting to rezone the 12.4 acre property so that the vacant open space areas on the property may be farmed.

A portion of the property is located within a shoreland jurisdictional area and the Wisconsin Department of Natural Resources Wetland Inventory Maps indicates that there may be wetlands along the navigable waterway. The waterway is not allowed to be filled or altered and farming activities shall not affect the drainage on adjacent and downstream properties. The wetlands are allowed to be farmed, provided that they are not filled; however, when farming activities stop, the farmed-wetland areas will likely revert back to wetlands and will need to be protected from development.

The AGO District requires that lots be a minimum of 10 acres with 300 feet of frontage on a public roadway. The property meets these minimum requirements.

The proposed zoning map amendment is compliant with the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9. Specifically, Map 9.9 indicates that this property is within the Low-Medium Density Residential with an Urban Reserve land use designation. In addition, the northern portion of the property is located within the secondary environmental corridor which may include wetlands.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map Amendment** as presented.



Filed 6/24 2013 Published 7/8 2013
 Public Hearing 7/22 2013 7/15 2013
 Fee Paid 4/24 2013 Approved _____ 20____
 Notices Mailed 6/28 2013 Denied _____ 20____

R E C E I V E D
 JUN 24 2013

VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
 ZONING MAP AND TEXT AMENDMENT APPLICATION

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present _____
R4-(UHO) District(s) to R4 (AGO) District(s). The property petitioned
 to be rezoned is located at: 23rd Ave and is legally described
 as follows: See Attached
 (address)

Tax Parcel Number(s): 92-4-122-254-0099

The proposed use for this property is: ~~92-4-122-254-0092~~

Petitioner's interest in the requested rezoning: Propriety Owner

Compatibility with adjacent land uses: Compatible with AG uses to the North

I (We) are also requesting a Zoning Text Amendment to amend Section None of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: James W & Linda L Carpenter
 Signature: James W. Carpenter
 Address: 11450 23rd Ave
Pleasant Prairie WI 53158
 (City) (State) (Zip)
 Phone: 262-694-5289
 Fax: _____
 Email: lindacarpenter07@gmail.com
 Date: 6-24-2013

OWNER'S AGENT:

Print Name: _____
 Signature: _____
 Address: _____
 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 Email: _____
 Date: _____

Linda L. Carpenter

FROM: James & Linda Carpenter
11450 23rd Avenue
Pleasant Prairie, WI 53158

June 24th 2013



TO: Village Of Pleasant Prairie

We have combined Parcel Number 92-4-122-254-0011 and
Parcel Number 92-4-122-254-0092 and request that the zoning be changed from
Residential to Agricultural to farm and generate income for us and our family
for now and in the future.

Thank You

James W Carpenter

A handwritten signature in black ink that reads "James W. Carpenter".

Linda L Carpenter

A handwritten signature in black ink that reads "Linda L. Carpenter".

Legal Description for Tax Key No. Parcel Number: 92-4-122-254-0092

Part of the Southeast Quarter of Section 25, Town 1 North, Range 22 East of the Fourth Principal Meridian, more particularly described as follows:

Commencing at the Southeast corner of said Quarter Section: thence S 89°07'34" West along the South line of said Quarter Section 294.75 feet; thence North 02°56'32" West parallel to the East line of said Quarter Section 777.00 feet to the point of beginning of the parcel to be herein described; thence continue North 02°56'32" West parallel to East line 554.36 feet to the North line of the Southeast Quarter of said Quarter section; thence South 89°17'16" West along said North line 705.33 feet; thence South 02°56'32" East parallel to the East line of said Quarter section 721.36 feet; thence North 89°07'34" East parallel to the South line of said Quarter Section 305.60 feet; thence North 02°56'32" West parallel to the East line of said Quarter Section 190.00 feet; thence North 89°07'34" East parallel to the South line of said Quarter section 160.00 feet; thence South 02°56'32" East parallel to the East line of said Quarter Section 25.00 feet; thence North 89°07'34" East parallel to the South line of said Quarter Section 239.65 feet to the point of beginning; Subject to easements and restrictions of record; lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin.

LEGAL DESCRIPTION FOR TAX KEY NO. PARCEL NUMBER: 92-4-122-254-0011

PART OF THE SOUTHEAST QUARTER OF SECTION 25, TOWN 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, LYING AND BEING IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS:

CERTIFIED SURVEY MAP #63 RECORDED IN VOLUMN 889, PAGE 814, DECEMBER 15, 1972. PART OF SOUTHEAST QUARTER, SECTION 25, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, STATE OF WISCONSIN.

ALSO

BEGINNING ON THE WEST LINE OF 23RD AVENUE AT THE SOUTHEAST CORNER OF CERTIFIED SURVEY MAP NO.: 63; THENCE S 89°07'34" W ALONG THE SOUTH LINE OF SAID CERTIFIED SURVEY MAP AND PARALLEL TO THE SOUTH LINE OF SAID QUARTER SECTION 160.00 FEET TO THE SOUTHWEST CORNER OF SAID CERTIFIED SURVEY MAP; THENCE N 02°56'32" W ALONG THE WEST LINE OF SAID CERTIFIED SURVEY MAP AND PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION 95.00 FEET; THENCE S 89°07'34" W PARALLEL TO THE SOUTH LINE OF SAID QUARTER SECTION 35.60 FEET; THENCE S 02°56'32" E PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION 90.00 FEET; THENCE N 89°07'34" E PARALLEL TO THE SOUTH LINE OF SAID QUARTER SECTION 20.60 FEET; THENCE S 02°56'32" E PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION 70.00 FEET; THENCE S 89°07'34" W PARALLEL TO SOUTH LINE OF SAID QUARTER SECTION 74.60 FEET; THENCE S 02°56'32" E PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION 54.48 FEET; THENCE N 89°07'34" E PARALLEL TO THE SOUTH LINE OF SAID QUARTER SECTION 249.60 FEET TO THE WEST LINE OF AFORESAID 23RD AVENUE; THENCE N 02°56'32" W ALONG SAID WEST LINE AND PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION 119.48 FEET TO THE SOUTHEAST CORNER OF SAID CERTIFIED SURVEY MAP NO.: 63 AND THE POINT OF BEGINNING; CONTAINING 28,233 SQUARE FEET (0.648 ACRE), MORE OR LESS; SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

ALSO

BEGINNING ON THE WEST LINE OF 23RD AVENUE AT THE NORTHEAST CORNER OF SAID CERTIFIED SURVEY MAP NO.63; THENCE N 02°56'32" W ALONG SAID WEST LINE AND PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION 215.00 FEET; THENCE S 89° 07'34" W PARALLEL TO THE SOUTH LINE OF SAID QUARTER SECTION 160.00 FEET; THENCE S 02°56'32" E PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION 215.00 FEET TO THE NORTHWEST CORNER OF SAID CERTIFIED SURVEY MAP; THENCE N 89°07'34" E ALONG THE NORTH LINE OF SAID CERTIFIED SURVEY MAP AND PARALLEL TO THE SOUTH LINE OF SAID QUARTER SECTION 160.00 FEET TO A POINT ON THE WEST LINE OF AFORESAID 23RD AVENUE WHICH IS THE NORTHEAST CORNER OF SAID CERTIFIED SURVEY MAP AND THE POINT OF BEGINNING; CONTAININTG 34,377 SQUARE FEET (0.789 ACRE), MORE OR LESS; SUBJECT TO EASEMENT AND RESTRICTIONS OF RECORD

ORD. # 13-

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP
OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended
as follows:**

The subject property located at 11450 23rd Avenue in U.S. Public Land Survey Section 5, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 92-4-122-254-0099 and the adjacent portion of the right-of-way are hereby rezoned from the R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District to the R-4 (AGO), Urban Single Family Residential District with a General Agricultural Overlay District.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendments.

Adopted this ____ day of _____, 2013.

VILLAGE BOARD OF TRUSTEES

John P. Steinbrink
Village President

ATTEST:

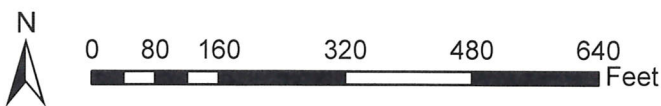
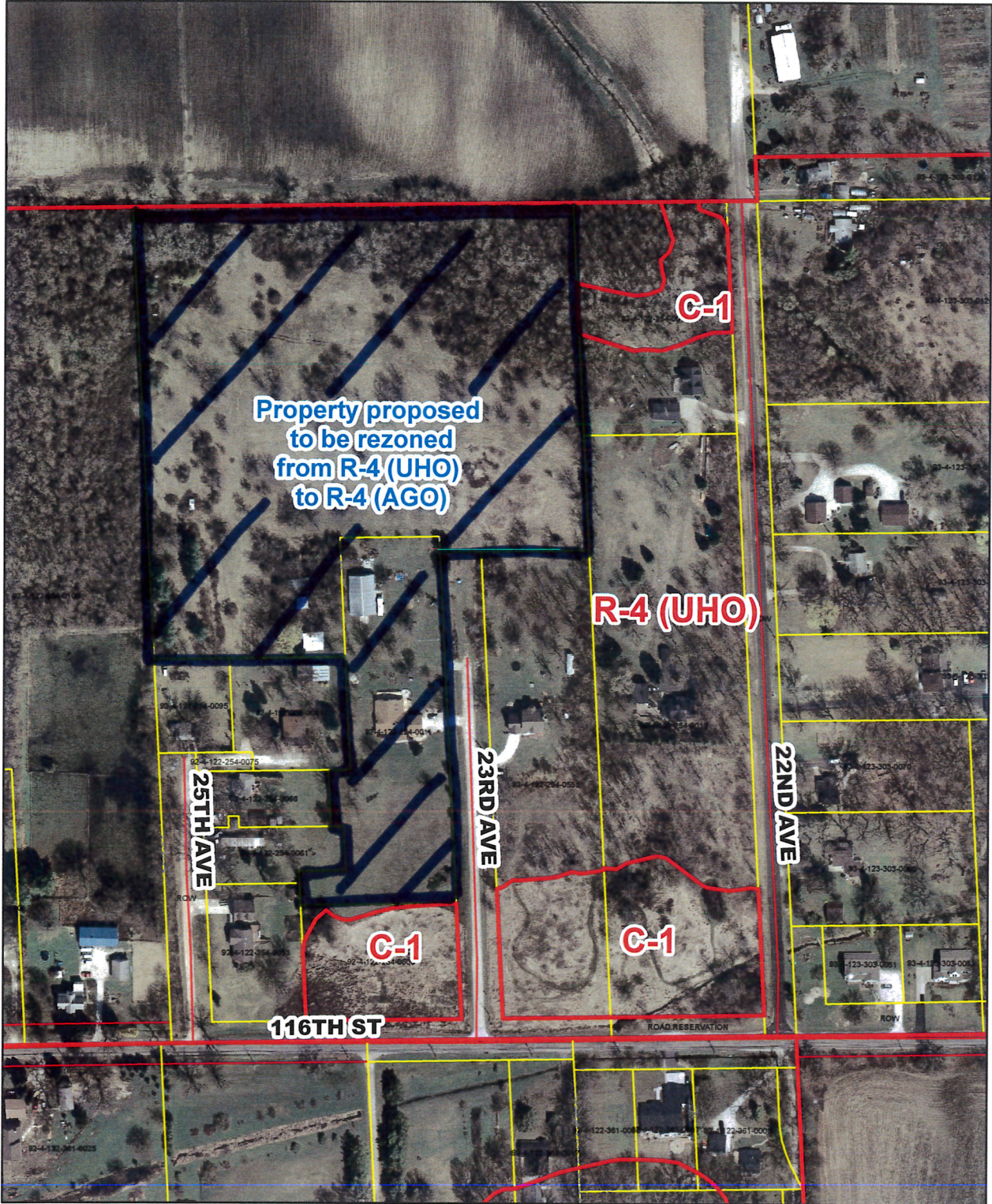
Jane M. Romanowski
Village Clerk

Posted:_____

____-Carpenter AGO .doc

Village of Pleasant Prairie Zoning Map (portion of)

11450 23rd Avenue



Source: Village of Pleasant Prairie
Date of Zoning: June 2013
Date of Aerial Photograph: 2010

- B. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** for the request of Barbara Newman, of Ramaker & Associates for Sprint Nextel to upgrade and replace the antenna on the existing water tower located at 10300 57th Avenue and to construct a new building for the ground equipment associated with the Sprint antennas.

Recommendation:

Village staff recommends that the Plan Commission approve the **Conditional Use Permit and Site and Operational Plans** subject to the attached comments and conditions of the Village Staff Report of July 22, 2013.

VILLAGE STAFF REPORT OF JULY 22, 2013

CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS for the request of Barbara Newman, of Ramaker & Associates for Sprint Nextel to upgrade and replace the antenna on the existing water tower located at 10300 57th Avenue and to construct a new building for the ground equipment associated with the Sprint antennas.

PUBLIC HEARING COMMENTS:

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

Findings of Fact

1. The petitioner is requesting approval of a **Conditional Use Permit including Site and Operational Plans** to upgrade and replace the antenna on the existing water tower located at 10300 57th Avenue and to construct a new building for the ground equipment associated with the Sprint antennas. This project also includes regarding a portion of the property where the existing Sprint equipment is located. (See **Exhibit 1** for a copy of the application materials.)
2. The subject property is known as Lot 1 of CSM 1795 located in a part of the U.S. Public Land Survey Section 22, Township 1 North, Range 22 East of the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin and further identified as Tax Parcel Number 92-4-122-224-0111.
3. The current zoning of the property is I-1, Institutional District and pursuant to Section 420-126 D of the Village Zoning Ordinance, a commercial communication structure and associated equipment is allowed within the I-1 District with approval of a Conditional Use Permit by the Plan Commission.
4. On November 12, 2001 the Plan Commission approved a Conditional Use Permit for Sprint to construct and operate a cellular telephone facility consisting of 10 foot high antennas mounted to the top of the existing Village water tower and accompanying electronic equipment cabinets located at the base of the water tower. See **Exhibit 2** for a copy of Conditional Use Grant Document #01-17. These antennas and the equipment is being removed and upgraded.
5. The current zoning of the property is I-1, Institutional District and the commercial communication structure and associated equipment requires a Conditional Use Permit pursuant to the requirements of Section 420-89 of the Village Zoning Ordinance.
6. Pursuant to Section 420-89 B (5) of the Village Zoning Ordinance, "Antennas, whips, panels, or satellite and/or digital dishes attached to an existing structure, such as water towers, transmission towers, silos or other utility poles, shall not extend more than 10 feet above the existing height of said structure, and no setbacks are applicable."
7. Pursuant to Section 420-89 B (11) of the Village Zoning Ordinance, "Any building associated with a commercial communication structure shall be set back a minimum of five feet from property lines and the separation distance between buildings shall be at least 10 feet."
8. The antenna apparatus placed on top of the water tower shall be painted Pleasant Prairie Blue Code # 1852 to match the top color of the water tower.
9. The Village has contracted with L & T Painting Company, Inc. to repaint the interior and exterior of the water tower. To accommodate the painting process, all cell carriers (Sprint, Verizon and Cricket) were required to remove their respective equipment off of the water tower. In order to provide continued cellular service during the painting, the cell carriers have installed temporary cellular towers on-site. It is anticipated the water tower painting will be completed by September 3, 2013. At that point, provided Sprint

- has all of it necessary permits, Sprint will be allowed to commence: 1) the demolition and removal of the existing equipment platform and fencing, 2) construction of the new equipment shelter and associated equipment (e.g. cables, multimodal antennas, H-frame, etc.), and 3) grading to address the on-site storm water drainage problem.
10. SprintCom, Inc. ("Sprint") and the Village will need to enter into an (amended) Lease Agreement for the proposed facility. Sprint shall submit a draft of the Agreement to the Village for review. Once the Agreement is in an acceptable form for both parties, it will be placed on an upcoming Village Board agenda for review and approval.
 11. The Communication Act of 1934 is the Federal regulation, which governs the telecommunications industry; Section 322 of said Act, as amended by subsection (6)(iv) of the Telecommunications Act of 1996, provides guidelines to state and local governments regarding the siting of antenna facilities. One such guideline governs what information may be considered during the zoning approval process. That is, as long as the antenna facility complies with emissions standards established by the Federal Communications Commission (FCC) in Section 704(b), it is considered that there are no health or safety risks posed by the equipment. Specifically, local Zoning Authorities (Plan Commissions) may not directly or indirectly consider health and safety issues during the zoning process when considering a telecommunications facility, which falls under this Section. According to the Village's attorney, Section 704 of the 1996 Telecommunications Act prohibits the state/local units of government from denying a wireless communication company's request for local zoning approval based upon environmental or health effects/concerns if the wireless communication company complies with the regulations on RF emissions set by the FCC.
 12. The petitioner and all of the abutting and adjacent property owners within 300 feet of the site were notified via U.S. Mail on June 28, 2013 of this public hearing. Notices were published in the Kenosha News on July 8 and July 15, 2013.
 13. The Village emailed the petitioner a copy of this staff report on July 19, 2013.
 14. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials that the project as planned, will not violate the intent and purpose of all Village Ordinance, nor shall it violate any federal, state and county regulations, and it shall meet the minimum standards for granting of a Conditional Use Permit. Furthermore, according to the Village's Zoning Ordinance, the Plan Commission shall not approve a Site and Operational Plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and all other applicable federal, state, county or Village requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, noise, storm water management, streets and highways and fire protection.

Village Staff Findings, Conclusions and Recommendations:

The Village staff has determined that based upon the foregoing information presented in the application that the project meets the following standards for granting a Conditional Use Permit in that:

- The project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services.
- The project does not impair an adequate supply of light and air to the adjacent properties.
- The project does not increase danger of fire.
- The project does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare.

- There are no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use.
- The proposed and applied for use on this particular parcel is not inherently inconsistent with the I-1, Institutional District in which it is located or the adjoining Zoning Districts.

Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for the granting of a conditional use as specified above--then approval of the Conditional Use Permit, including Site and Operational Plans, shall be approved subject to the following conditions:

1. The Village has contracted with L & T Painting Company, Inc. to repaint the interior and exterior of the water tower. To accommodate the painting process, all cell carriers (Sprint, Verizon and Cricket) were required to remove their respective equipment off of the water tower. In order to provide continued cellular service during the painting, the cell carriers have installed temporary cellular towers on-site. It is anticipated the water tower painting will be completed by September 3, 2013. At that point, provided Sprint has all of it necessary permits, Sprint will be allowed to commence: 1) demolition and removal of the existing equipment platform and fencing, 2) construction of the new equipment shelter and associated equipment (e.g. cables, multimodal antennas, H-frame, etc.), and 3) grading to address the on-site storm water drainage problem.
2. SprintCom, Inc. ("Sprint") and the Village will need to enter into an (amended) Lease Agreement for the proposed facility. Sprint shall submit a draft of the Agreement to the Village for review. Once the Agreement is in an acceptable form for both parties, it will be placed on an upcoming Village Board agenda for review and approval.
3. Due to Village projects occurring on the site (repaving, tower painting etc.), Sprint shall contact the Village Engineering Department (262-948-8951) prior to commencing work. **A preconstruction meeting will be required to coordinate activities and provide construction personnel contact information.**
4. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date. **Three (3) sets of the revised plans, stamped by a Wisconsin Licensed Engineer, that address the following shall be submitted for Village staff review and approval prior to issuance of required permits:**
 - a. Written concurrence from the Wisconsin Department of Natural Resources (WIDNR) that there are no wetlands on the site and that there are no WIDNR permits required for this project.
 - b. The Village address of this Water Tower site is 10300 57th Avenue. Correct address appropriately on all plan sheets.
 - c. The Plans shall show the dimensions of the Sprint building lease area along with a legal description of the lease area. It shall be Sprint's responsibility for the upkeep and maintenance of all landscaping in a healthy, living condition. Additionally, all landscaping shall be located within the lease area.
 - d. Plans shall show the setback of the new Sprint equipment shelter to the (west) property line and to the north property line. The minimum setback required is five (5) feet.

- e. Plans shall show the separation distance between the new Sprint equipment shelter and the existing Verizon equipment shelter to the north and to the existing Cricket equipment shelter to the south. The minimum separation distance required is 10 feet.
- f. Pursuant to Section 420-89 B (5) of the Village Zoning Ordinance, "Antennas, whips, panels, or satellite and/or digital dishes attached to an existing structure, such as water towers, transmission towers, silos or other utility poles, shall not extend more than 10 feet above the existing height of said structure, and no setbacks are applicable." Show the extension height on the plans to verify that this requirement is being met.
- g. The antenna apparatus placed on top of the water tower shall be painted Pleasant Prairie Blue Code # 1852 to match the top color of the water tower. Note on the Plans.
- h. The swale centerline contours downstream of 723.40 shall be extended upstream to provide a more consistent positive slope throughout the length of the swale.
- i. The proposed alignment for the relocation of the existing fiber optic cable is within the asphalt drive. The following comments pertain to this relocation.
 - i. The Village is pulverizing and re-asphalting the asphalt drive as part of our 2013 paving projects. The fiber optic relocation must be completed prior to the Village re-paving the road. Also, if the fiber optic line is being installed by open trench, compacted granular backfill is required.
 - ii. Relocating the fiber optic south of the proposed shelter location should be evaluated and discussed.
- j. Provide a swale along the south and east part of the shelter to provide drainage from the drive, east of the shelter.
- k. The existing asphalt access stub north of the east-west drive on the east side of the site is not expected to be pulverized and repaved. Grading by the existing asphalt access stub for the swale may need field adjustments based on the actual existing asphalt grades and/or new asphalt grades if the paving work does happen to extend into this area.
- l. Note and show the trees that are being removed due to the swale grading on the Drainage and Grading Plan and the Landscaping Plan.
- m. The Plans shall include a detailed Landscaping Plan Sheet. Rather than planting arborvitae shrubs that grow to a height that will eventually obscure the equipment shelter, the Landscaping Plan shall show the outer perimeter of the Sprint equipment shelter landscaped with lower-growing foundation-type plantings (within a mulch bed). Where practical, the landscaping and mulch bed shall be incorporated around all sides of the equipment shelter. Sprint shall be responsible for the labor and expense associated with the maintenance and replacement of all dead/dying landscaping and mulch replenishment on an annual basis.
- n. The Landscape Plans shall note and clearly show which trees/shrubs are being removed as a part of the Sprint equipment platform demolition. If trees/shrubs are being removed, then every effort should be made by the contractor to salvage and replant the trees/shrubs elsewhere on-site (plans shall clearly label and show where salvaged landscaping will be replanted).
- o. Lawn restoration provisions shall be provided in the plans. This includes but is not limited to minimum 4-inches of topsoil, seed, and erosion matting. Seed

shall be lawn type turf. Include on the Drainage and Grading Plan and the Landscaping Plans.

- p. Pursuant to a May 15, 2013 email from the Village, it was noted to applicant that the existing chain-link fence that surrounds the Water Tower and other cellular equipment is primarily not situated on the Water Tower parcel's property lines. Ultimately, it is the intent of the Village to relocate the existing fencing to the property lines and install any needed additional fencing to enclose and secure the site. The application had mentioned that as a part of the proposed drainage improvements for the site that portions of the fencing may need to be removed. The Village is acceptable with the fence removal. However, when the fence, or a portion thereof, is removed, the following needs to occur:
 - i. The portion of removed fencing associated with the drainage improvement project shall be salvaged and shall be re-installed on the property line as a part of the Sprint project. Plans shall clearly show the proposed relocation of any salvaged fencing to the property lines.
 - ii. The cost of removing the fencing and re-installing it on the property line shall be a project cost and completed as a part of this Sprint project.
 - iii. When the fence or a portion thereof, is taken down, a temporary fence will need to be erected to "close the gaps" and ensure the Village Water Tower site remains enclosed and secure. Plans shall show the location and type (plan detail) of temporary fencing being used.
 - iv. The Village will cover the cost of repositioning any portion of fence to property lines that is not removed as a part of the project.
 - v. The Village will pay for and install any additional fencing needed to complete the fence enclosure on the property lines.
 - vi. Plans shall show what portions, if any, of the existing chain-link fencing will be removed/taken down.
- q. A "doghouse" structure shall be used where the Sprint coaxial cables enter the base of the Water Tower. Show the "doghouse" and concrete pad on the plans. Also note on the plans that the "doghouse" shall be painted the identical color of the Water Tower.
- r. If Sprint intends to install a back-up generator, either at the time of the new equipment shelter construction or at some future date, the generator shall be housed inside the equipment shelter. Sprint should plan the size and location of the equipment shelter accordingly.
- s. The new Sprint equipment shelter shall be designed and constructed with similar materials and colors as the existing on-site Verizon and Cricket equipment shelters. A materials sample board shall be submitted to the Village Community Development Department for review and eventual Plan Commission review and approval.
- t. The note at the top of Plan Sheet S-3 stating "Standing Seam Roof" shall be eliminated if its referring to a "Standing Seam Metal Roof". A standing seam metal roof shall not be allowed. Similar to the Verizon and Cricket equipment shelters, the new Sprint equipment shelter shall have an asphalt shingled roof with the materials and colors approved by the Village.
- u. Access shall be maintained for emergency service to the buildings, i.e. daisy chain the contractor's gate lock with the Village's Fire & Rescue Department gate knock lock. Note and show on the plans.

5. Compliance with the **attached** memorandum from the Village Fire & Rescue Department dated July 8, 2013.
6. **Upon review and approval of the revised Site and Operational Plans, a pdf of the approved plans shall be submitted to the Village with three (3) copies of the stamped plans.**
7. The antennas and equipment shelter shall comply with all Federal Communications Commission (FCC) and Federal Aviation Administration (FAA) requirements. Copies of the necessary FCC and FAA approvals shall be provided to the Village prior to the issuance of building permits.
8. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
9. Any deviation from the approved plans must be reviewed and approved by the Village prior to construction. After plans are approved and permits are issued, no changes to the site and buildings shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion or other proposed change (e.g. the addition of antennae) in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
10. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, state and federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
11. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
12. The use shall comply with all Village Ordinance requirements and all other applicable federal, state, county or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
13. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
14. Compliance with all provisions of the approved Conditional Use Permit and Site & Operational Plan submittal, including compliance with the Village Performance Standards is required.
15. The lessee (Verizon Wireless) shall comply with all provisions of the Site & Operational Plans, Conditional Use Permit including Compliance with the Village Performance Standards.
16. **Upon approval of the Conditional Use Permit and Site and Operational Plans, the Village as the property owner and an authorized legal representative of Sprint shall sign the Conditional Use Grant Document. Sprint shall provide the Village with the name and titles of the authorized persons who will sign the Conditional Use Grant Document on their behalf. Sprint is responsible for paying the required recording fees, and the Document shall be recorded at the Kenosha County Register of Deeds office prior to issuance of the required construction permits.**

17. The Site and Operational Plans approval shall be effective for a period of 180 days from the date of written notification of the decision to the applicant. If permits are not issued within said 180 days the Site and Operational Plans approval shall be void.
18. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
19. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
20. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
21. All required permits shall be obtained from the Village prior to commencing any work. In addition, prior to occupancy, a Certificate of Compliance shall be issued by the Village prior to the use/operation of this facility to ensure compliance with all permit requirements.
22. The Village of Pleasant Prairie has adopted The 2009 International Commercial Building Code. The Cell Tower antenna addition does not require state approval.
23. Compliance with the Wisconsin State Electrical Code, Volume 2, Chapter Comm 16 is required. A commercial electrical permit is required to be obtained by a Village licensed Electrical Contractor for the emergency generator and any additional electrical work in the existing equipment shelter. An electrical inspection for rough-in and final inspection shall be scheduled with the Village.
24. Prior to written occupancy of the building and associated site improvements three (3) copies of an as-built plan stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that the location of all above-ground structures and all impervious surfaces meet the minimum setbacks and that all improvements were made within the lease area per the approved Site and Operational Plans.
25. Prior to written occupancy, written verification shall be provided to from Sprint's engineering/ architect/contractor shall provide to the Village that the antennas, all building construction activities and site work have been completed pursuant to the approved plans.
26. Prior to written occupancy, written certification shall be provided from Sprint's landscaping company that the landscaping was installed pursuant to the approved Site and Operational Plans.



Office of the Village
Fire & Rescue Chief
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director

FROM: Doug McElmury, Chief, Fire & Rescue Department

CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development

SUBJECT: Review of Sprint/Nextel Cellular Tower, Antennas and Equipment Shelter located at Prairie Springs Park, upgrade and building, a facility address of 5726 104th Street.

DATE: July 8, 2013

Sprint is proposing an upgrade to replace current equipment platform with a shelter.

A fire alarm is not proposed for this project.

Unless determined by any governing code the Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually.

The concerns of the Fire & Rescue Department are as follows:

- A. The structure shall be constructed in accordance with the appropriate State of Wisconsin Codes. In the event a conflict in code(s) is identified the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.
- B. A letter shall be submitted to the Fire & Rescue Department with the plans; it shall state that the project will comply with all requirements addressed within this document.
 1. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
 2. **Knox Box and Knox Padlock:** A Knox Box shall be provided for the building and a Knox Padlock for the security gate entrance if needed. The Knox Box shall be Model 4400. Two sets of all keys shall be placed within the box, as well as a copy of the pre-fire plan. All Knox equipment shall be purchased directly from the Fire & Rescue Department.

3. **Emergency Lighting:** Emergency Lighting shall be provided. Emergency Lighting shall have battery back-up. Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.
4. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 1. Provide a CD with site and building enclosure information. The disk shall be in the current AutoCAD format.
 2. The Pleasant Prairie Fire & Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
6. **Inspection Fee:** Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17. This fee is due at the Final Inspection
7. **Occupancy:** All fire and life safety requirements must be in place prior to this building being occupied.



RECEIVED JUN 26 2013 Village of Pleasant Prairie

VILLAGE OF PLEASANT PRAIRIE SITE AND OPERATIONAL PLAN AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR: Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building. To construct a new or addition to principal or accessory structure. Use requires a Conditional Use Permit.

Table with 2 columns: Description and Date. Rows include Application Filed on, Preliminary Determination of Completeness on, Revised Plans Submitted, Public Hearing Required, Published on, Approved by, and Denied by.

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: SPRINT
SITE ADDRESS: 5726 104th Street, Hwy 165, Pleasant Prairie, WI
BRIEF PROJECT DESCRIPTION: SPRINT Equipment upgrade, replace current equipment platform with a shelter and grade to resolve drainage issue. Detailed description attached.
PROPOSED NUMBER OF FULL TIME EMPLOYEES: N/A
PROPOSED NUMBER OF PART-TIME EMPLOYEES: N/A
SITE SIZE: Approx 625 sq. ft. N/A acres
PROPOSED BUILDING SIZE: 273 sq.ft. HEIGHT: 12 ft.
PROPOSED ADDITION SIZE: N/A sq.ft. HEIGHT: N/A ft.
LEGAL DESCRIPTION: see attached plans

TAX PARCEL NUMBER(S): 92-4-122-224-0111

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: I-1

- 1. Is a zoning map amendment proposed with this project? [] Yes [X] No
2. Is a zoning text amendment proposed with this project? [] Yes [X] No

N/A 3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: N/A

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan
- Amendment to an existing Site and Operational Plan
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS - *See plans*

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. Does the proposed project require a Conditional Use Permit? YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.
2. Are you amending an existing Conditional Use Permit? YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. Is any use on the site a nonconforming use? YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date _____

APPLICANT:

Name: Barbara Newman
 (Please Print)
 Signature: Barbara Newman
 Address: 1120 Dallas Street
Sauk City, WI 53583
 (City) (State) (Zip)
 Phone: 847-868-4672 OR 608-643-4100
 Fax: 608-643-7999
 E-mail: bnewman@rambler.com
 Date: 6/28/2013

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date _____

USER OR OCCUPANT OF SITE:

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date _____



Plan description for Village of Pleasant Prairie Site and Operational Plan and Conditional Use Permit Zoning Application:

SprintCom Inc., a Kansas corporation, has an active Site Agreement with the Village of Pleasant Prairie for easement and space for maintaining and operating a communications facility at the Lakeview water tank located at 5726 104th Street, Pleasant Prairie, WI.

Sprint Nextel is currently upgrading their Telecommunications Network nationwide. This entails making certain physical modifications to equipment on and within the premises at Sites. These improvements are being undertaken in order to ensure the continued technical and economic feasibility of facilities, and are needed to make optimal use of Sites for the purposes intended by the Site Agreements.

The upgrade plan for the Lakeview Water Tank is to upgrade the network along with remedying a water drainage problem which has occurred at the site and, per the Village of Pleasant Prairie's request, and alien Sprint's equipment facility with the later (than the Sprint Site Agreement) defined standard of incorporating telecommunications electronics equipment into a shelter facility of like design and materials as the other carriers on the property.

Sprint will be replacing the current six (6) CDMA antennas with three (3) new Multimodal Antenna units (one (1) per sector) including the associated RRUS (two (2) per antenna per sector), connectors and a new hybrid coax (one (1) per sector). Originally, the design was to be implemented in two stages. The first would be an interim phase where there would be a period when both CDMA and the Multimodal antennas would co-exist on the water tank while the new equipment was being tested. The second stage would be the removal of all obsolete technology equipment, leaving only the new Multimodal antennas and associated equipment. However, due to the painting of the water tank, Sprint has determined that they will only mount the new antenna units on the Water Tank when the painting is completed.

To address the Village of Pleasant Prairie's concern about a standing water problem at the current Sprint equipment location, Sprint had a Topographic survey done by Ramaker & Associates to find the source of the water, where it is going and design a grading plan to resolve the problem. A grading plan has been designed to re-direct the flow and disbursement of the water to keep the area dry. Survey results indicated that if Sprint built the new shelter at the current equipment location the new grading would

DATE

Page 2 of 2

not guarantee resolving the drainage issue. The only way to cure this issue is to relocate the Sprint equipment area. Working with the Village of Pleasant Prairie, Sprint identified a mutually agreeable location for the new equipment shelter. The new shelter location satisfies the Village of Pleasant Prairie Codes of a minimum 25' setback from property lines and a minimum 10' separation between buildings. The shelter design incorporates the Village of Pleasant Prairie's code for consistency of appearance of the shelters. Sprint's design conforms to the newer standards for building style, architecture and colors. Upon completion of the painting of the water tank and the removal of the Verizon temporary pole, Sprint will construct the new shelter, remove the current platform and do the grading outlined in the plans.

Plans attached.



Sprint **SAMSUNG**

SITE ID #: **CH54XC919**

SITE NAME: **F1-4812-ET-PP WATER TOWER**

SITE ADDRESS: **5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158**

SITE TYPE: NETWORK VISION MMBS LAUNCH
 PROPOSED ANTENNA AND EQUIPMENT UPGRADE

PROJECT DESCRIPTION: INSTALLATION OF NEW RADIO/TRANSMISSION EQUIPMENT TO INCLUDE NEW OUTDOOR EQUIPMENT CABINETS ON EXISTING PLATFORM VIA SIDE BY SIDE REPLACEMENT, HYBRID FIBER OPTIC CABLES, REMOTE RADIO UNITS AND ASSOCIATED CDMA CONSOLIDATION ANTENNAS VIA SIDE BY SIDE CONSOLIDATION REPLACEMENT ON EXISTING 125' WATER TOWER.

PROJECT INFORMATION

SITE INFORMATION:
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

COORDINATES: N 42° 31' 24.999" (42.52361111)
 W 87° 52' 32.999" (-87.87583333)

APPLICANT/LESEE: SPRINT
 ADDRESS: 9801 W. HIGGINS ROAD
 ROSEMONT, IL 60018
 CONTACT: JOHN BUCHERT
 TELEPHONE: (847) 384-2852

SITE OWNER: VILLAGE OF PLEASANT PRAIRIE
 ADDRESS: 9915 39TH AVENUE
 PLEASANT PRAIRIE, WI 53158
 CONTACT: PAUL P STEINBRINK
 TELEPHONE: (630) 379-5701

SITE UTILITIES:

POWER COMPANY: WE ENERGIES
 ADDRESS: 231 W. MICHIGAN STREET
 MILWAUKEE, WI 53203
 TELEPHONE: (800) 662-4797

TELEPHONE CO.: TIME WARNER
 ADDRESS: NOT APPLICABLE
 TELEPHONE: (800) 644-8320

PROJECT TEAM:

PROJ. MNGMT. FIRM: NEXIUS SOLUTIONS, INC.
 ADDRESS: 6737 WASHINGTON ST.
 SUITE 2265
 WEST ALLIS, WI 53214
 CONTACT: MIKE KOZLOWSKI
 TELEPHONE: (414) 941-3159
 WEBSITE: www.NEXIUS.com

ENGINEERING FIRM: RAMAKER & ASSOCIATES
 ADDRESS: 1120 DALLAS STREET
 SAUK CITY, WI 53583
 WEBSITE: www.RAMAKER.com

CONTACT: TOMAS A. TORO-SANTOS
 TELEPHONE: (608) 643-4100
 MOBILE: (608) 963-2133
 FACSIMILE: (608) 643-7999
 EMAIL ADDRESS: TTORO@RAMAKER.COM

APPROVALS:

MW ENGINEER: _____ DATE _____
 SITE ACQUISITION: _____
 SAMSUNG MNGR.: _____
 RF ENGINEER: _____
 CONST. MNGR.: _____
 SITE OWNER/REP.: _____

SHEET INDEX

GENERAL:

T-1 TITLE SHEET
 CIVIL:
 C-1 EXISTING SITE PLAN
 C-2 PROPOSED SITE PLAN

SITE:

A-1 SITE PLAN
 A-2 EQUIPMENT PLAN
 A-3 TOWER ELEVATION
 A-4 ANTENNA ORIENTATION PLANS
 A-5 ANTENNA & HYBRID CABLE SPECS. # RRU COLOR CODING
 A-6 RRU UNIT DETAILS
 A-7 CABINET DETAILS
 A-8 ANTENNA RF DATA & COLOR CODING SPECIFICATIONS
 A-9 RRU RF DATA & ANTENNA JUMPER CONNECTIONS

STRUCTURAL:

S-1 STRUCTURAL DETAILS
 S-2 STRUCTURAL DETAILS
 S-3 STRUCTURAL DETAILS
 S-4 STRUCTURAL DETAILS
 S-5 STRUCTURAL DETAILS

UTILITY & GROUNDING:

U-1 UTILITY & GROUNDING SITE PLAN
 U-2 BUILDING UTILITY PLAN
 U-3 UTILITY RISER AND DETAILS
 U-4 RISER DIAGRAM
 U-5 WILSON
 U-6 PANEL SCHEDULE
 U-7 UTILITY DETAILS & NOTES
 U-8 GROUNDING DETAILS & NOTES
 U-9 GROUNDING DETAILS
 U-10 GROUNDING DETAILS

SPECIFICATIONS:

SP-1 SPECIFICATIONS

DESIGN CRITERIA:
 ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL COVERING AUTHORITIES, NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE 2009
- ACCESSIBILITY CODE IBC 2009. CHAPTER 11 # ICC/ ANSI A 117.1-2003
- 2008 NATIONAL ELECTRIC CODE
- FIRE / LIFE SAFETY CODE - IFC 2009
- ENERGY CODE IECC 2009



6391 SPRINT PARKWAY
 OVERLAND PARK, KS 66251



6737 WASHINGTON STREET
 SUITE 2265
 WEST ALLIS, WI 53214
 OFFICE: (414) 941-3159



1120 Dallas Street, Sauk City, WI 53583
 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com

PROJECT NUMBER: 23941

MARK	DATE	DESCRIPTION
I	6/6/2013	PROPOSED EQUIPMENT SHELTER

Certification & Seal:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Signature: _____ Date: 6/06/2013

ISSUE PHASE: FINAL DATE ISSUED: 12/20/2012

SITE ID #: CH54XC919

SITE NAME: F1-4812-ET-PP WATER TOWER

ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

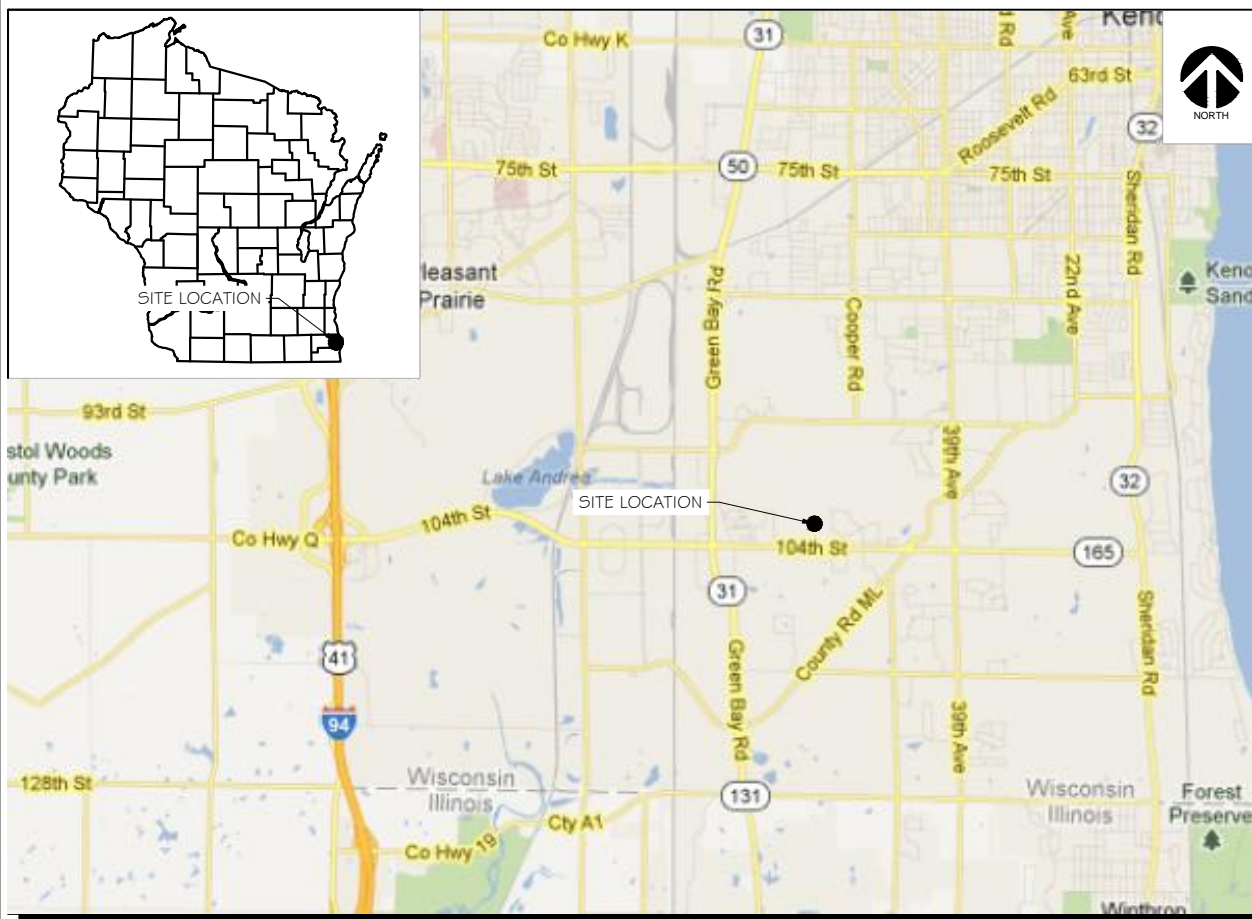
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SHEET TITLE: TITLE SHEET

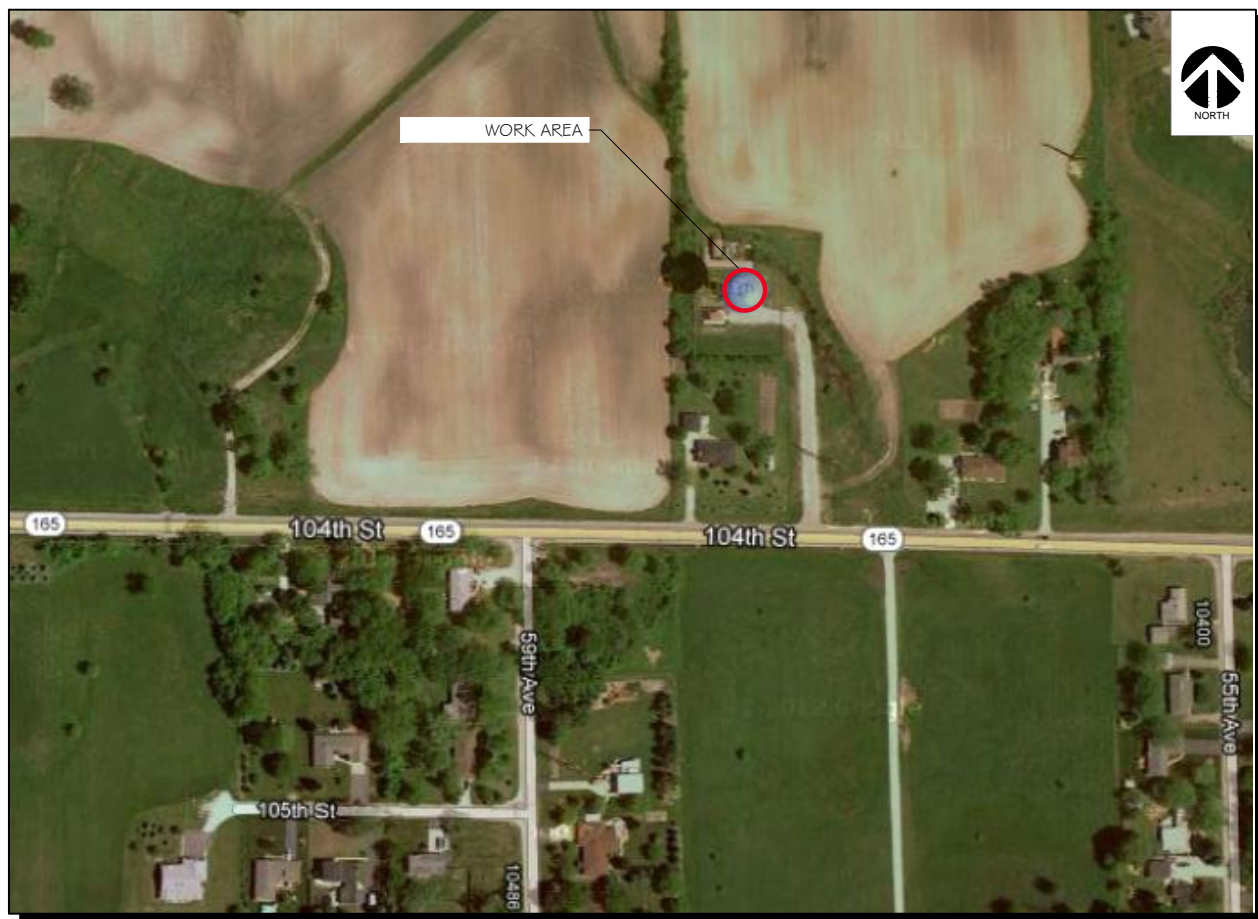
SCALE: NONE

SHEET NUMBER: T-1

GENERAL LOCATION



VICINITY MAP



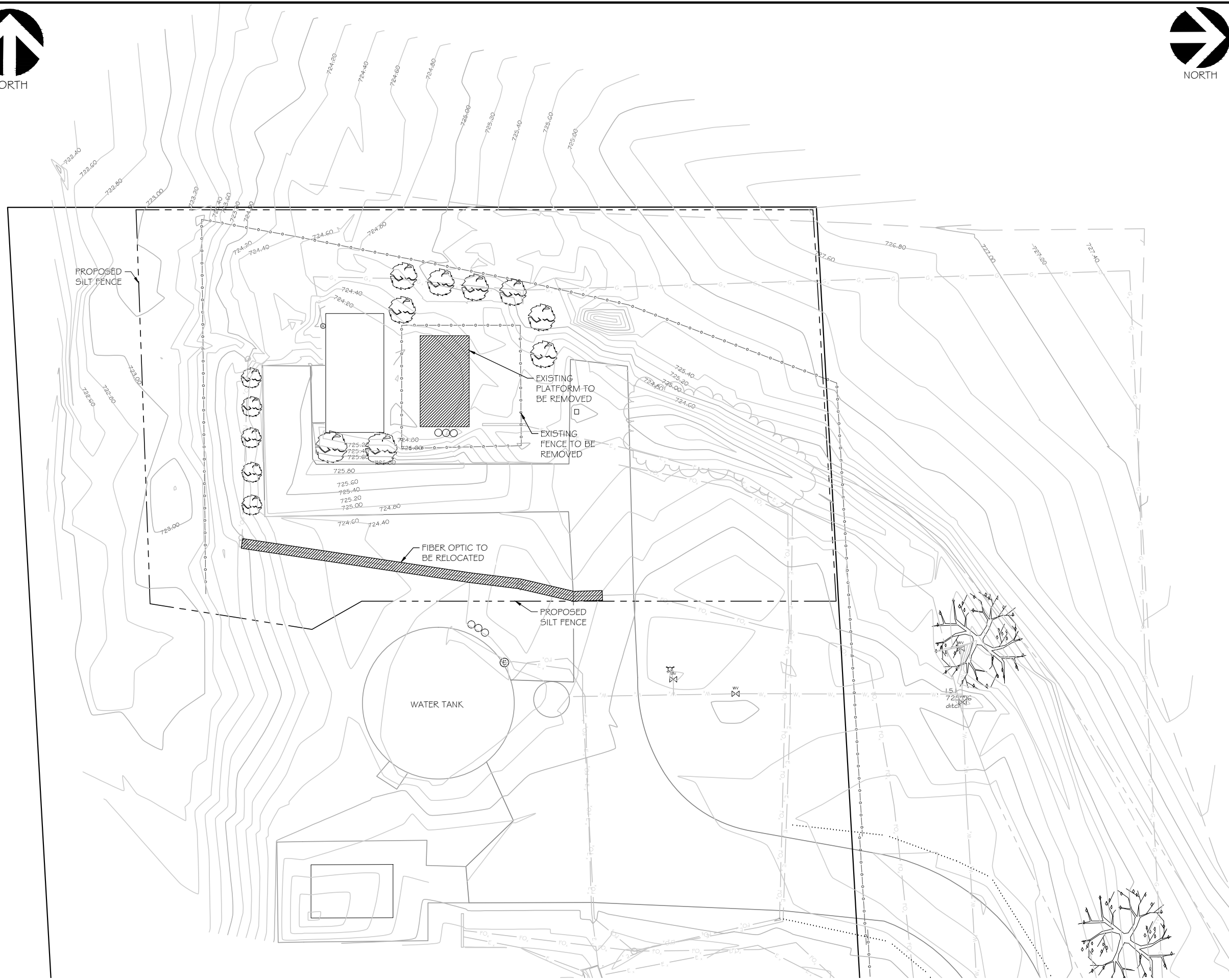
DRIVING DIRECTIONS:
 FROM GENERAL MITCHELL INTERNATIONAL AIRPORT:
 HEAD NORTH, TAKE THE WI-38 RAMP TO HOWELL AVE. KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR HOWELL AVE / WI-38 S. TURN LEFT ONTO S HOWELL AVE. TURN RIGHT ONTO W COLLEGE AVE. TURN LEFT TO MERGE ONTO I-94 E. U.S. 41 S. TAKE EXIT 347 TOWARD WI-165 / LAKEVIEW PKWY / WISCONSIN Q. TURN LEFT ONTO 104TH ST. DESTINATION WILL BE ON THE LEFT.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**DIGGERS HOTLINE 811 OR
 1-800-242-8511**

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



SITE PLAN
 SCALE: 1" = 20'



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 OVERLAND PARK, KS 66251

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 WEST ALLIS, WI 53214
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 Phone: 608-643-4100 Fax: 608-643-7999
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PROJECT NUMBER: 23941

1	6/6/2013	PROPOSED EQUIPMENT SHELTER
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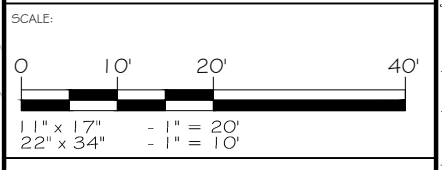
MARK DATE DESCRIPTION
 Certification & Seal:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



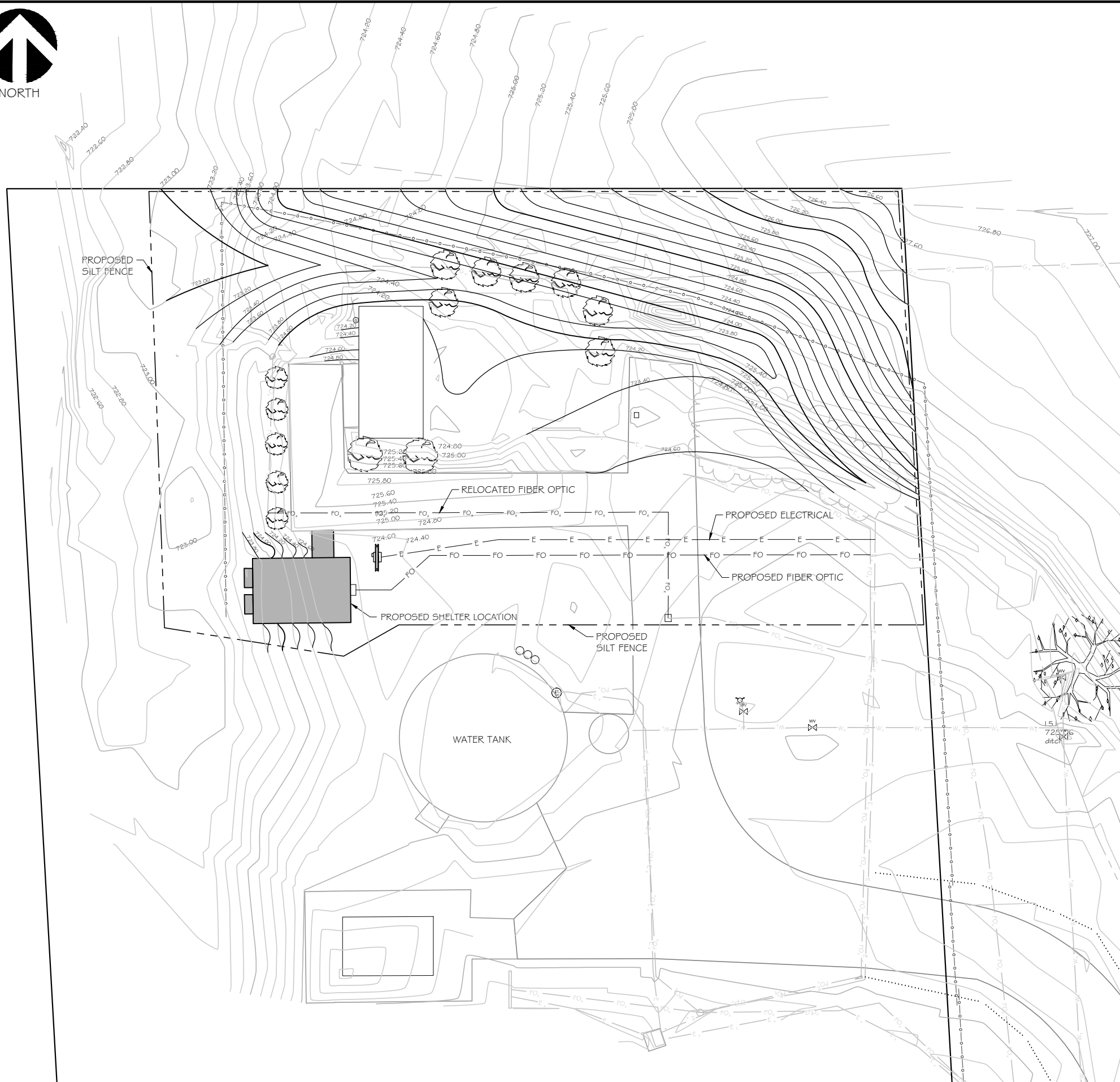
Signature: _____ Date: 6/06/2013
 ISSUE DATE DATE
 PHASE FINAL ISSUED 12/20/2012

SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158
 SITE TYPE: WATER TOWER

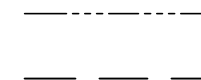
SHEET TITLE:
EXISTING SITE PLAN



SHEET NUMBER: C-1



LEGEND



SITE PLAN
 SCALE: 1" = 20'



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 OVERLAND PARK, KS 66251

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 SUITE 2265
 WEST ALLIS, WI 53214
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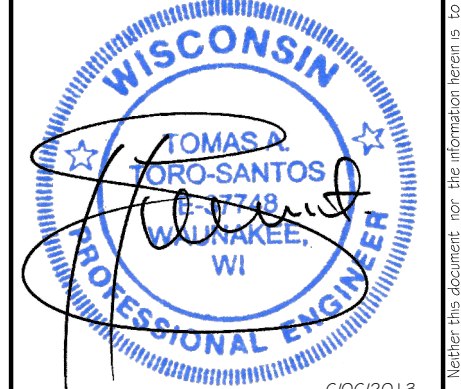
1120 Dallas Street, Sauk City, WI 53583
 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com

PROJECT NUMBER 23941

1 6/6/2013 PROPOSED EQUIPMENT SHELTER

MARK DATE DESCRIPTION

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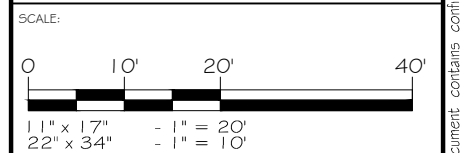


ISSUE DATE 12/20/2012
 PHASE FINAL ISSUED

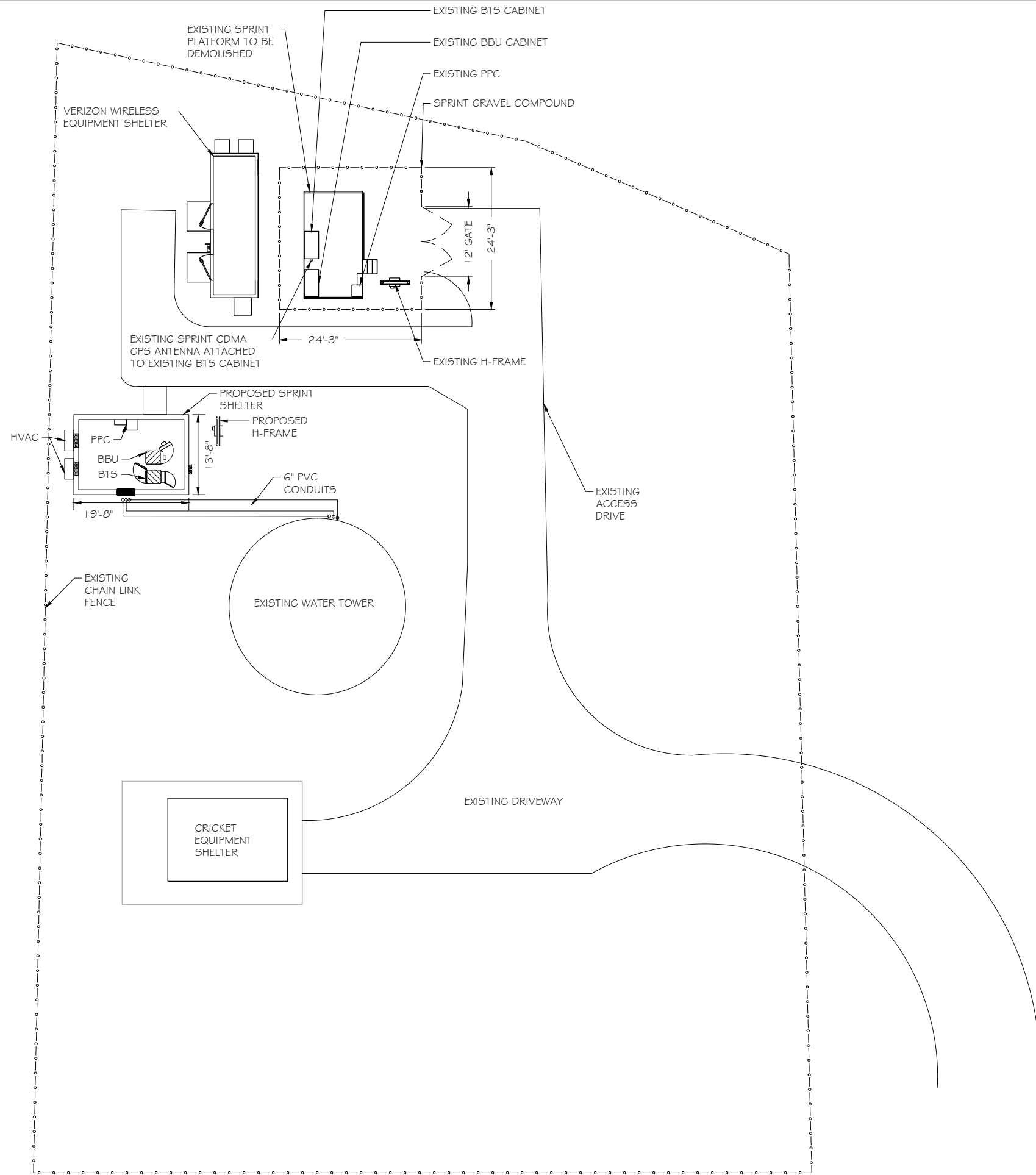
SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE:
PROPOSED SITE PLAN



SHEET NUMBER C-2



SITE PLAN
 SCALE: 1" = 20'



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 OVERLAND PARK, KS 66251

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 6737 WASHINGTON STREET
 SUITE 2265
 WEST ALLIS, WI 53214
 OFFICE: (414) 941-3159

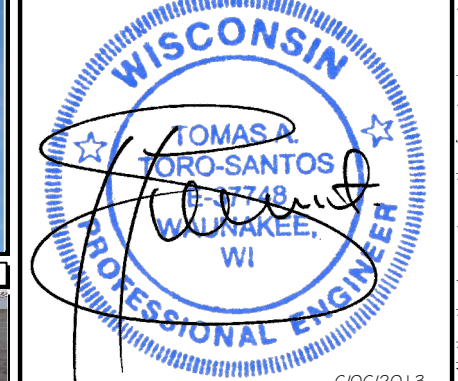


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 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com

PROJECT NUMBER 23941

MARK	DATE	DESCRIPTION
	6/6/2013	PROPOSED EQUIPMENT SHELTER

Certification & Seal:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Signature: *Tomas A. Toro-Santos* Date: 6/06/2013

ISSUE PHASE	DATE ISSUED
FINAL	12/20/2012

SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

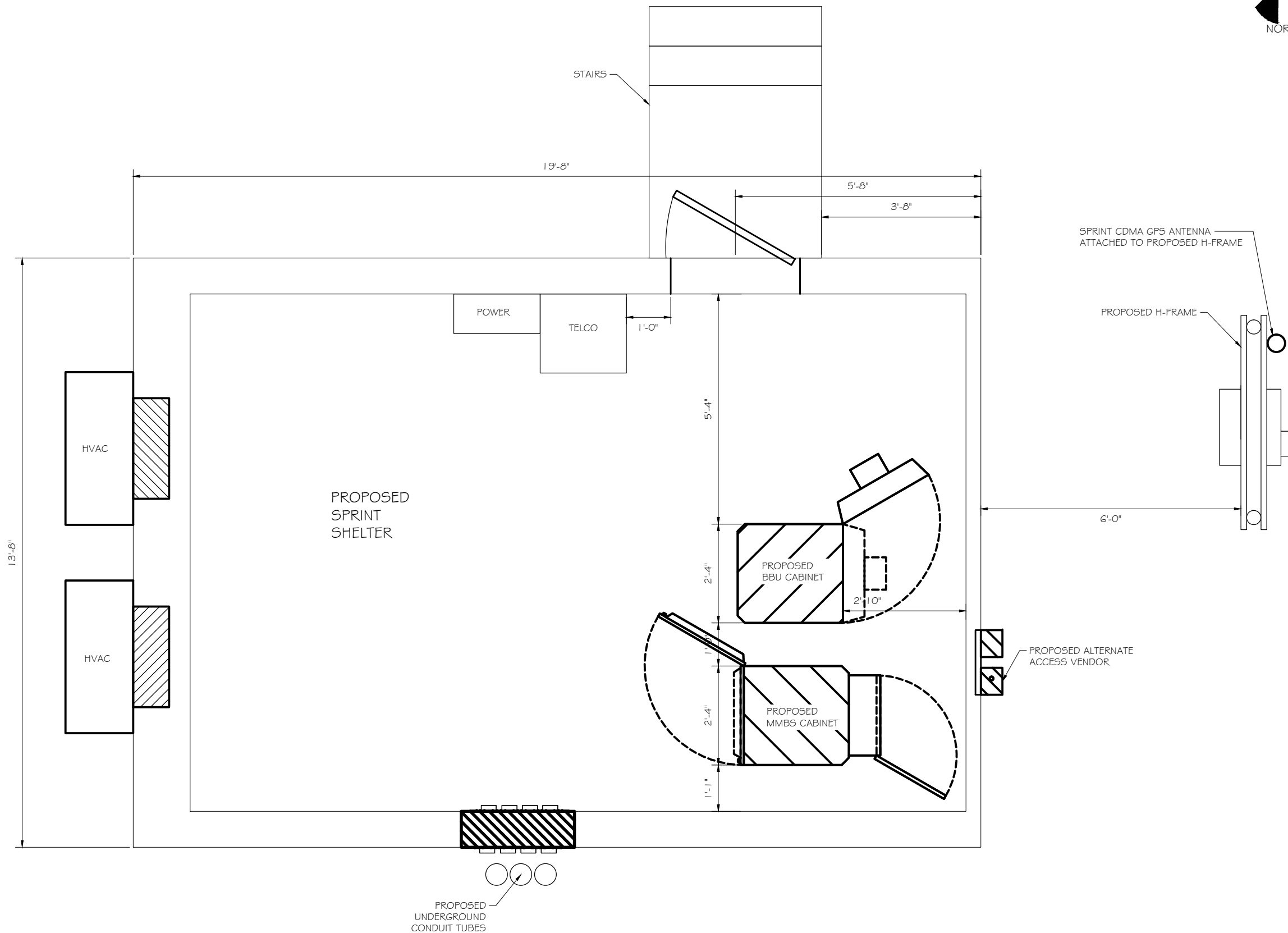
SITE TYPE: WATER TOWER

SHEET TITLE: SITE PLAN

SCALE:
 0 10' 20' 40'

1 1/2" x 17" - 1" = 20'
 22" x 34" - 1" = 10'

SHEET NUMBER A-1



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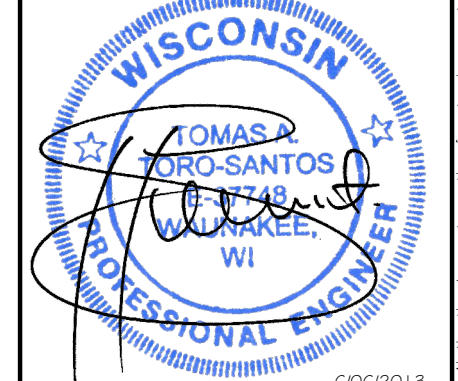


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PROJECT NUMBER 23941

1	6/6/2013	PROPOSED EQUIPMENT SHELTER
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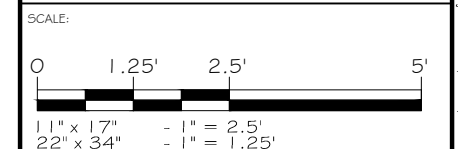
MARK DATE DESCRIPTION
 Certification & Seal:
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ISSUE PHASE	FINAL	DATE ISSUED	12/20/2012
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SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158
 SITE TYPE: WATER TOWER

SHEET TITLE:
EQUIPMENT PLAN

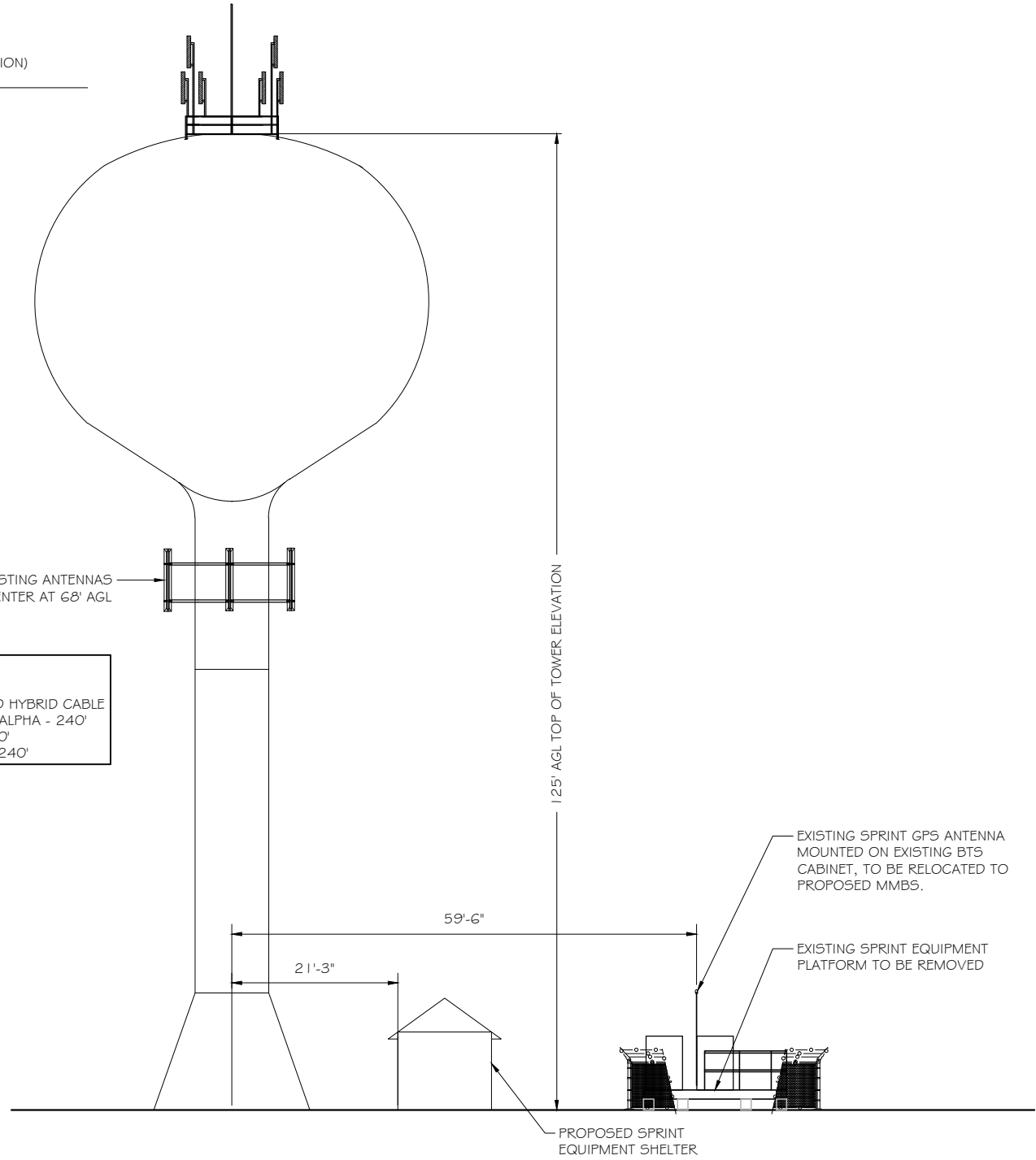


FINAL EQUIPMENT CONFIGURATION
 SCALE: 1" = 2.5'

(6) EXISTING SPRINT CDMA ANTENNAS
 (TO BE REMOVED THROUGH CONSOLIDATION)
 (3) PROPOSED MULTIMODAL ANTENNAS
 RAD CENTER @ 130' AGL

NOTE:
 PROPOSED HYBRID CABLE
 LENGTHS; ALPHA - 240'
 BETA - 240'
 GAMMA - 240'

EXISTING ANTENNAS
 RAD CENTER AT 68' AGL



EXISTING GPS ANTENNA LOCATION



AT THE TIME OF CREATING THIS PLAN SET, RAMAKER & ASSOCIATES HAS NOT PERFORMED A STRUCTURAL ANALYSIS FOR THIS PROJECT. PRIOR TO THE INSTALLATION OF THE PROPOSED EQUIPMENT OR MODIFICATION OF THE EXISTING STRUCTURE, A STRUCTURAL ANALYSIS SHALL BE PERFORMED BY THE OWNER'S AGENT TO CERTIFY THAT THE EXISTING/PROPOSED COMMUNICATION STRUCTURE AND COMPONENTS ARE STRUCTURALLY ADEQUATE TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, COAXIAL CABLES, AND OTHER APPURTENANCES.

EAST ELEVATION
 SCALE: 1" = 20'



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 OVERLAND PARK, KS 66251

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1120 Dallas Street, Sauk City, WI 53583
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PROJECT NUMBER 23941

1	6/6/2013	PROPOSED EQUIPMENT SHELTER
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MARK DATE DESCRIPTION

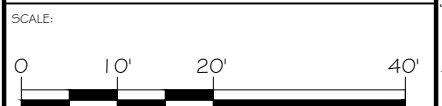
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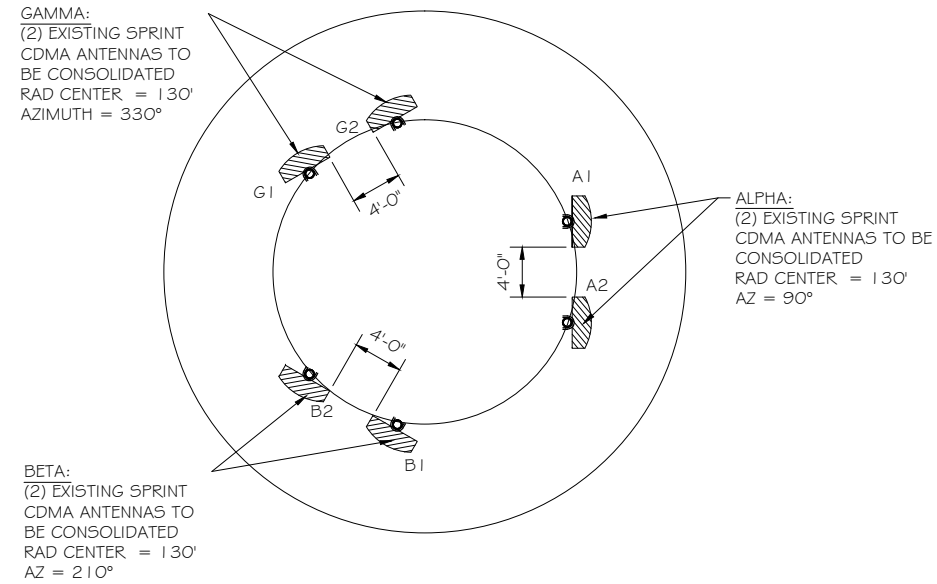
ISSUE PHASE	FINAL	DATE ISSUED	12/20/2012
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SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158
 SITE TYPE: WATER TOWER

SHEET TITLE:
TOWER ELEVATION



SHEET NUMBER
A-3



EXISTING ANTENNA ARRAY ①
 SCALE: NTS



GAMMA:
 (1) PROPOSED MULTIMODAL ANTENNA
 MODEL #:
 KMW ET-X-TS-70-15-62-18-IR-RD
 WITH (2) RRU'S AT PROPOSED PIPE
 MOUNT
 RAD CENTER = 130'
 AZIMUTH = 330°

GAMMA:
 (1) PROPOSED SPRINT
 CDMA ANTENNAS
 (CONSOLIDATED)
 RAD CENTER = 130'
 AZIMUTH = 330°

BETA:
 (1) PROPOSED MULTIMODAL
 ANTENNA MODEL #:
 KMW ET-X-TS-70-15-62-18-IR-RD
 WITH (2) RRU'S AT PROPOSED
 PIPE MOUNT
 RAD CENTER = 130'
 AZIMUTH = 210°

BETA:
 (1) PROPOSED SPRINT
 CDMA ANTENNAS
 (CONSOLIDATED)
 RAD CENTER = 130'
 AZ = 210°

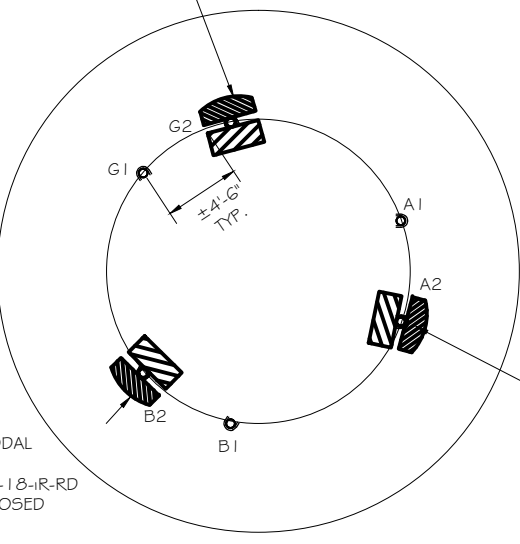
INTERIM ANTENNA ARRAY: CONSOLIDATION ②
 SCALE: NTS



GAMMA:
 (1) PROPOSED MULTIMODAL ANTENNA
 MODEL #:
 KMW ET-X-TS-70-15-62-18-IR-RD
 WITH (2) RRU'S AT PROPOSED PIPE
 MOUNT
 RAD CENTER = 130'
 AZIMUTH = 330°

BETA:
 (1) PROPOSED MULTIMODAL
 ANTENNA MODEL #:
 KMW ET-X-TS-70-15-62-18-IR-RD
 WITH (2) RRU'S AT PROPOSED
 PIPE MOUNT
 RAD CENTER = 130'
 AZIMUTH = 210°

ALPHA:
 (1) PROPOSED MULTIMODAL ANTENNA
 MODEL #:
 KMW ET-X-TS-70-15-62-18-IR-RD
 WITH (2) RRU'S AT PROPOSED PIPE
 MOUNT
 RAD CENTER = 130'
 AZIMUTH = 105°



FINAL ANTENNA ARRAY: CONSOLIDATION ③
 SCALE: NTS



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PROJECT NUMBER 23941

1 6/6/2013 PROPOSED EQUIPMENT SHELTER

MARK DATE DESCRIPTION

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Signature: Date: 6/06/2013

ISSUE DATE 12/20/2012
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SITE ID #: CH54XC919

SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

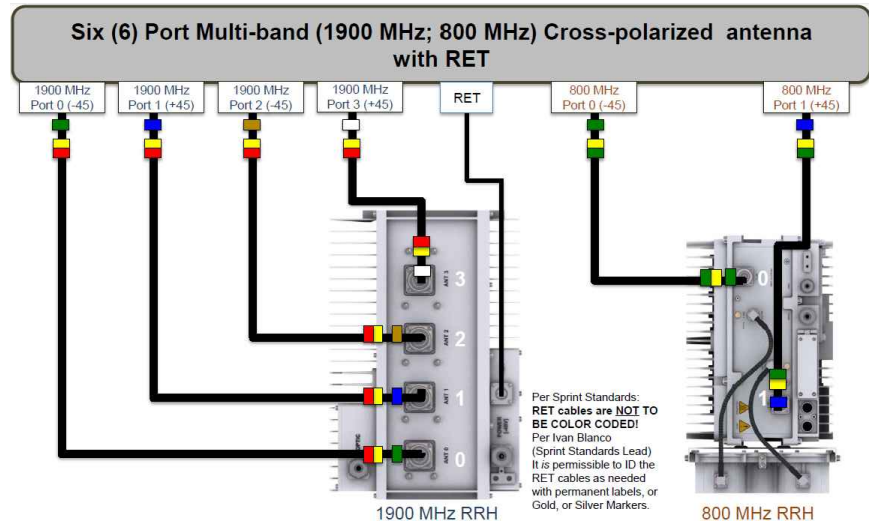
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ANTENNA ORIENTATION PLANS

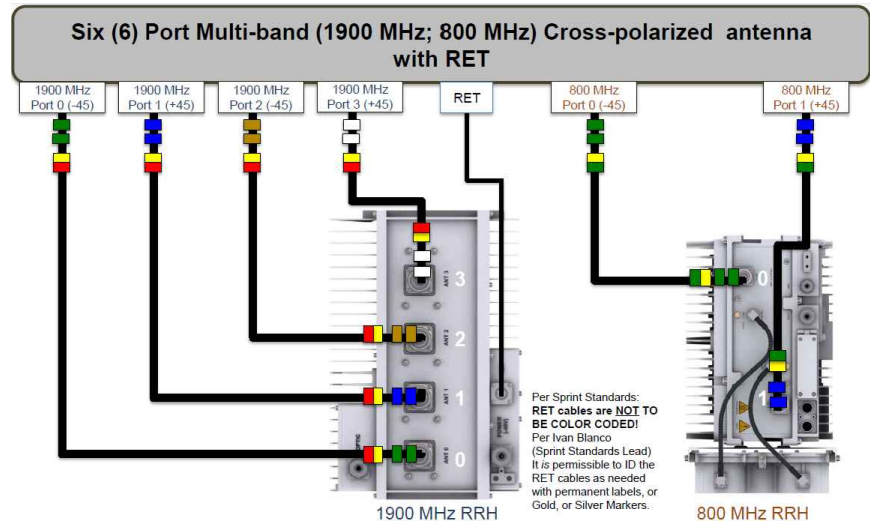
SCALE:

SCALE:
 AS NOTED

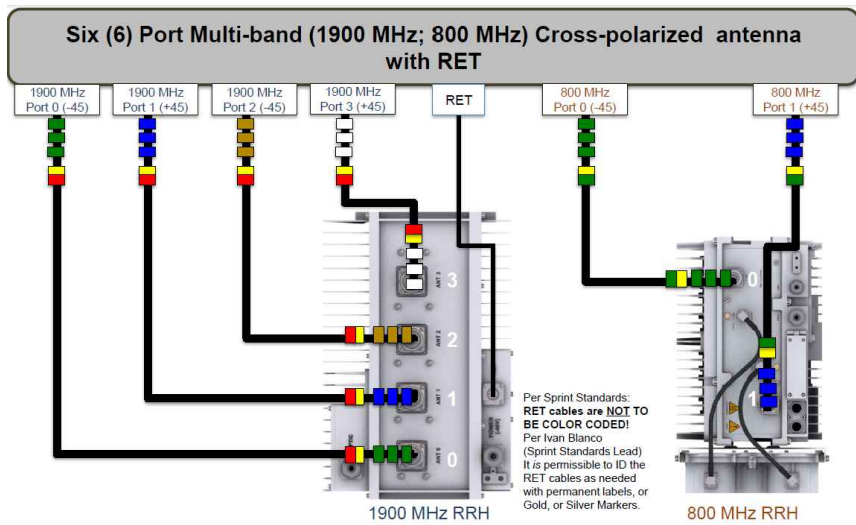
SHEET NUMBER A-4



ALPHA RRU COLOR CODING
 SCALE: NTS ①



BETA RRU COLOR CODING
 SCALE: NTS ②



GAMMA RRU COLOR CODING
 SCALE: NTS ③

APPLICABLE FOR (CH54XC919)

Ref. Hybrid cable type (sort by length)

	Type 1	Type 2	Type 3	Type 4	Type 5
Total Length	~35 m	~55 m	~65 m	~80 m	~100 m
Hybrid Power Cable configuration	AWG 10 1 pair, AWG 12 3 pair	AWG 8 1 pair, AWG 10 3 pair	AWG 6 1 pair, AWG 8 1 pair, AWG 10 2 pair	AWG 6 1 pair, AWG 8 3 pair	AWG 4 1 pair, AWG 6 1 pair, AWG 8 2 pair
Cable diameter	25mm	27mm	30mm	30/32mm ¹⁾	32mm
Bending radius	300mm	330mm	390mm	450mm	450mm
Optic cable	LC/PC-to-LC/PC, Single mode				
DU cabinet (power cable terminal max size AWG 4)	2 pair power and optic cable With PE pipe				
RRU Power cable Spec	AWG 8, 14.7~15.4 mm AWG 10, 11.5~12.4 mm				
Non use Power and optic cable protection	2 pair power and optic cable With PE pipe	2 pair power and optic cable With PE pipe	2 pair power and optic cable With PE pipe	2 pair power and optic cable With PE pipe	

HYBRID CABLE SPECIFICATIONS
 SCALE: NTS ②

● Electrical Specification

Product Number	ET-X-TS-70-15-62-18-IR-RD	
Frequency Range	800-869MHz	1850-1995MHz
3dB Beam-Width	Horizontal	70°
	Vertical	12.0°
Gain (dBi / dBd)	15.2 / 13.4	18.0 / 15.9
Electrical Down Tilt Range	0° ~ 10°	0° ~ 10°
1 st Upper Sidelobe Suppression	> 18dB (up to 15° EL)	> 18dB (up to 10° EL)
Front-to-Back Ratio @180±15°	> 30dB	≥ 28dB
Polarization Type	Dual, Slant ±45°	Quad, Slant ±45°
Cross-Polar Discrimination(XPD)	0°, Boresight	> 18dB
	±60°	> 10dB
Input Maximum CW Power	250W	250W
Impedance	50Ω	50Ω
Return Loss	> 15dB	> 15dB
Isolation Between Ports	> 28dB	> 28dB
HBW Squint across the same ports	±2°	±5°
Passive Intermodulation, IM3	≤ -110dBm (@2+43dBm, @ 2 minute duration)	
Antenna Control Interface	Field Replaceable Internal RET, AISG2.0	

● Mechanical Specification

Dimension (Length x Width x Depth)	1875mm x 300mm x 150mm (73.8" x 11.8" x 5.9")
Weight without Clamp	19.0kg (41.9lbs)
Max. Wind Speed	67m/s (150mph)
Wind Load (@100mph), Front / Side / Rear	863.0N / 431.5N / 863.0N (194.1lbf / 97.0lbf / 194.1lbf)
Connector (Type / Position)	6 x 7/16" DIN(Female) / Bottom

KMW - ET-X-TS-70-15-62-18-IR-RD
 ANTENNA SPECIFICATIONS
 SCALE: NTS ③



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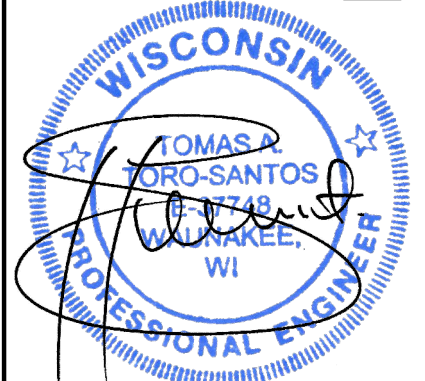
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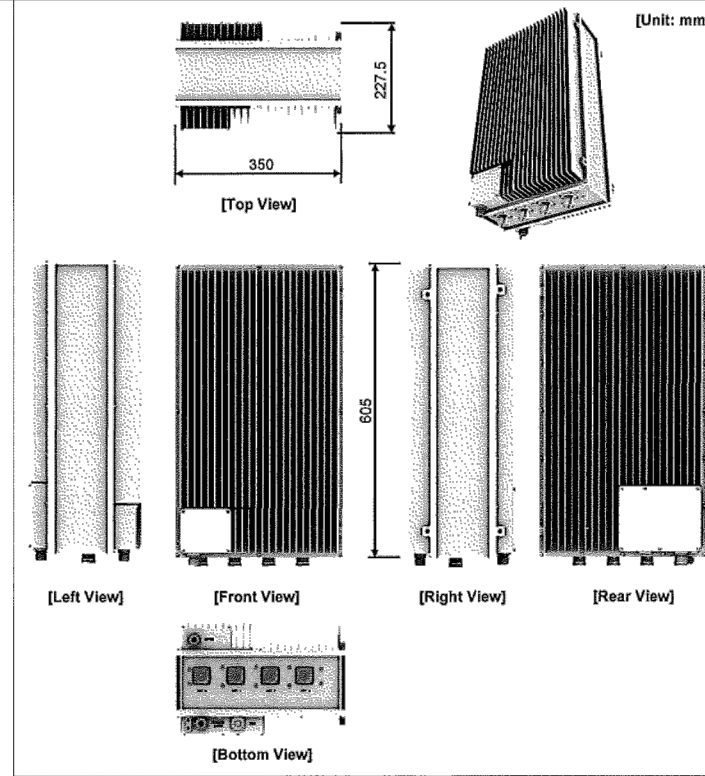
SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE:
 ANTENNA & HYBRID CABLE
 SPECIFICATIONS

SCALE:
 SCALE: NONE

SHEET NUMBER A-5



1900 GHz RRU MECHANICAL SPECIFICATIONS ①
 SCALE: NTS

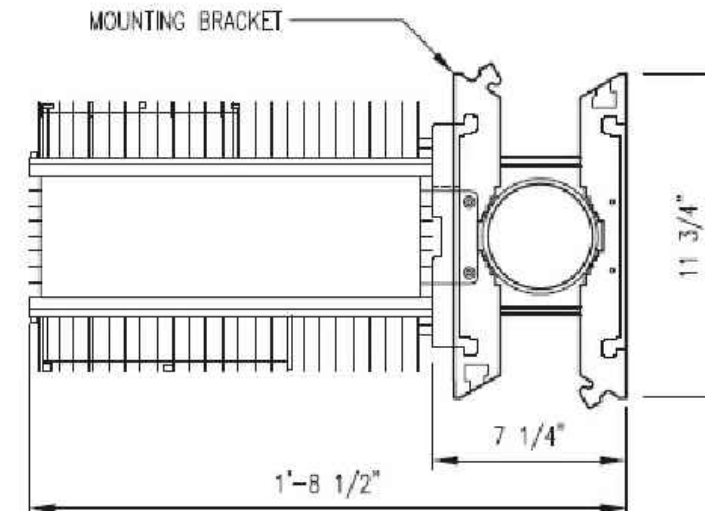
Item	Specifications
Air specification	CDMA/LTE FDD
Operating Frequency	- DL: 1,930~1,995 MHz - UL: 1,850~1,915 MHz
Channel Bandwidth	- CDMA: 1.25 MHz - LTE FDD: 5 MHz/10 MHz
Capacity	- CDMA: Max. 8Carrier - LTE FDD: Max. 6Carrier @5 MHz
RF Power per Sector ^{a)}	40 W 4Tx (Total 160W)
Multiple Antenna	- CDMA: 1T2R/2T2R/1T4R/2T4R - LTE: 2T2R / 2T4R/4T4R
DU~RRH-P4 Interface	2.5 Gbps, CPRI 4.0 (Optic)
a) Output power at the RU antenna port. (not external filter antenna port)	

Input Power
 The following table shows the power specifications for RRH-P4. RRH-P4 complies with UL60950 safety standard for electrical equipment.

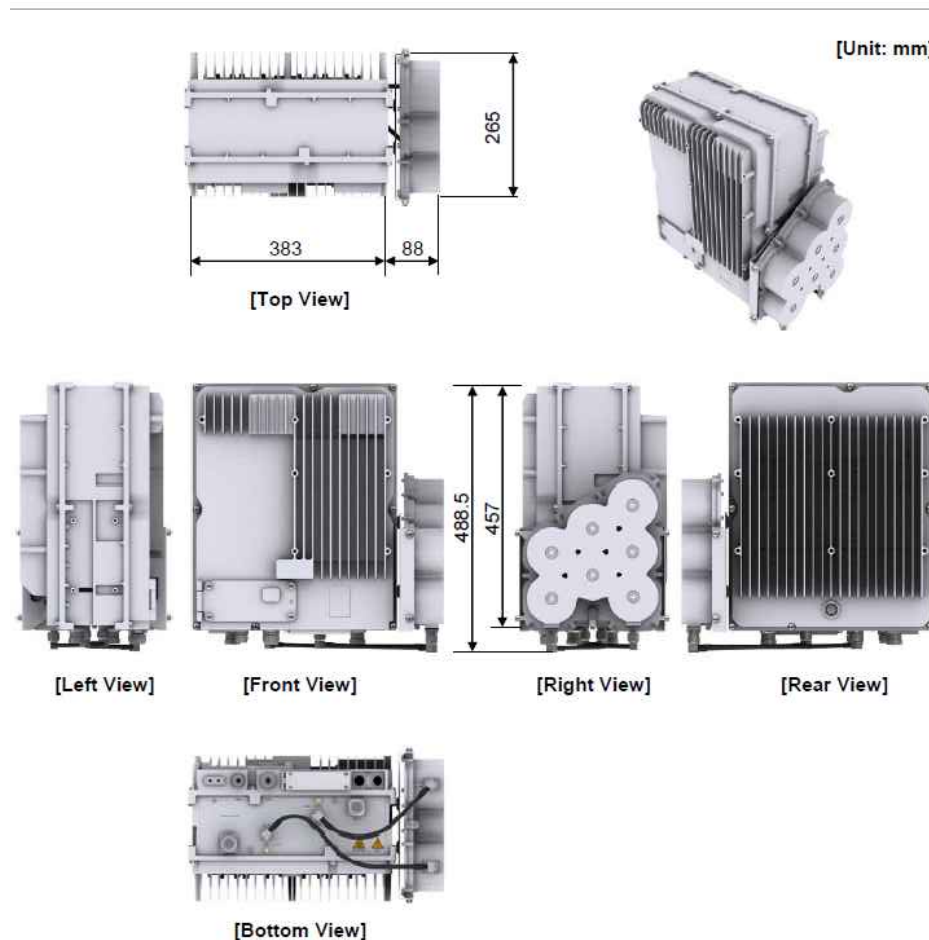
Item	Specifications
Input voltage	-48 VDC
Current consumption	20.3 A

Unit Size and Weight
 The following table shows the size and weight of RRH-P4.

Item	Specifications
Size (mm, W D H)	350 227.5 60.5 (Measured without the solar shield)
Weight (kg)	27 or less



RRU POLE INSTALLATION ②
 SCALE: NTS



800 GHz RRU MECHANICAL SPECIFICATIONS ③
 SCALE: NTS

Item	Specifications
Air specification	CDMA/LTE FDD
Operating Frequency	DL: 862~869 MHz UL: 817~824 MHz
Channel Bandwidth	CDMA: 1.25 MHz LTE FDD: 5 MHz
Capacity	CDMA: Max. 5Carrier LTE FDD: Max. 1Carrier @5 MHz
RF Power per Sector ^{a)}	50 W x 2Tx (Total 100 W)
Multiple Antenna	CDMA: 1T2R/2T2R LTE: 2T2R
DU~RRH-C2 Interface	2.5 Gbps, CPRI 4.0 (Optic)
a) Output power at the RU antenna port. (not external filter antenna port)	

Input Power
 The following table shows the power specifications for RRH-C2. RRH-C2 complies with UL60950 safety standard for electrical equipment.

Item	Specifications
Input voltage	-48 VDC
Current consumption	-

Unit Size and Weight
 The following table shows the size and weight of RRH-C2.

Item	Specifications
Size (mm, W x D x H)	280 x 390 x 460 (Measured without the solar shield)
Weight (kg)	27 kg (Ext. Filter 4 kg)



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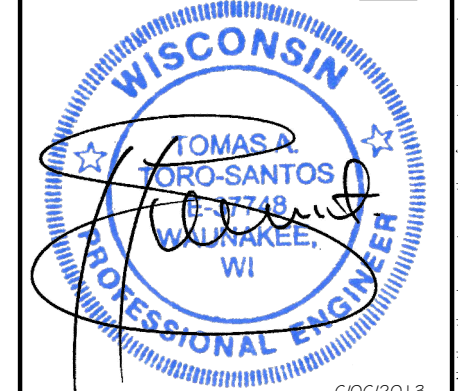


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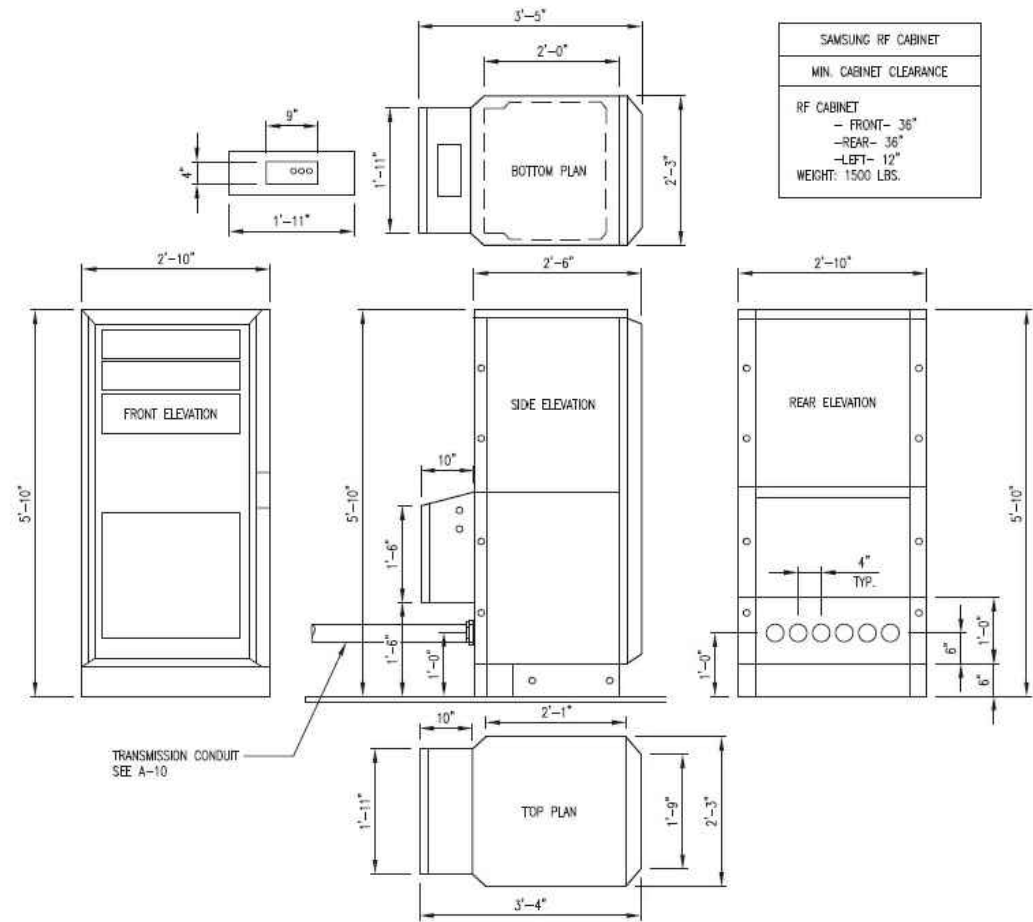
ISSUE PHASE	FINAL	DATE ISSUED	12/20/2012
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SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158
 SITE TYPE: WATER TOWER

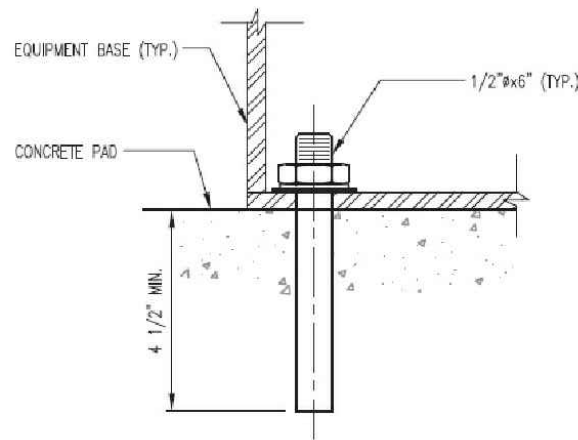
SHEET TITLE:
 RRU UNIT DETAILS

SCALE:
 SCALE: NONE

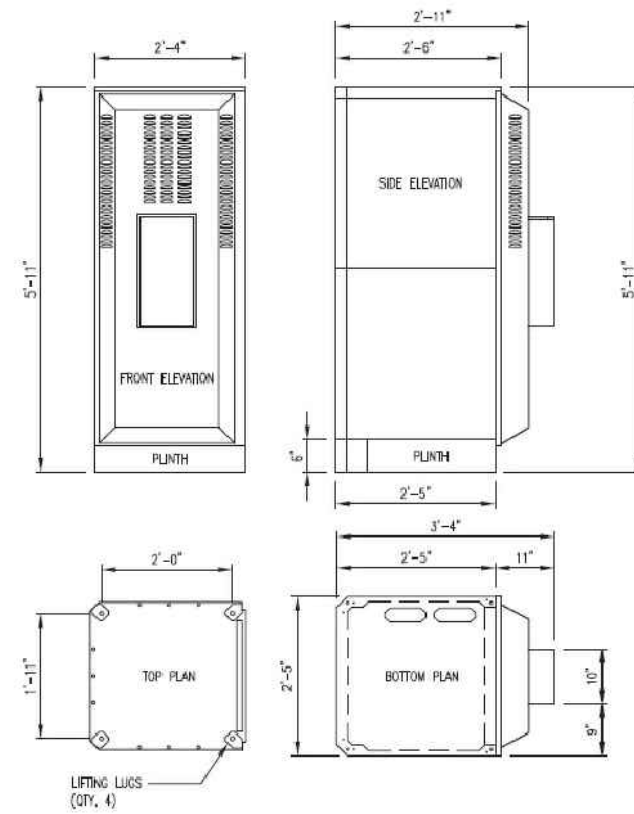
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 A-6



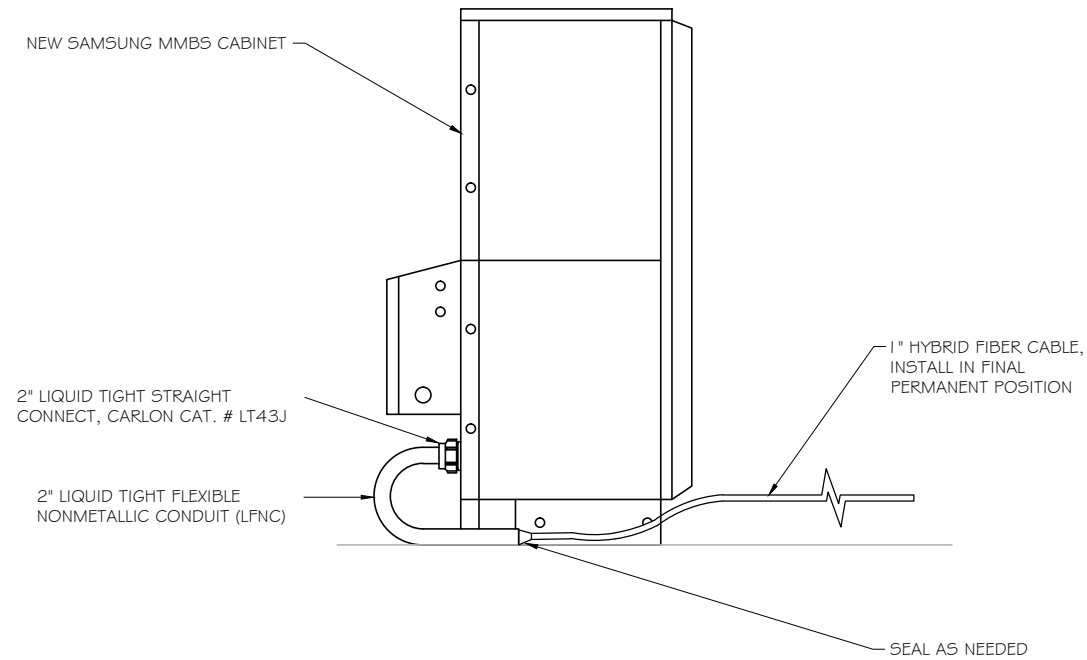
RF CABINET DETAILS
 SCALE: NTS



EQUIPMENT ANCHOR DETAIL
 SCALE: NTS



BATTERY CABINET DETAILS
 SCALE: NTS



CABLE ENTRY DETAIL
 SCALE: NTS

SAMSUNG BATTERY CABINET	
MIN. CABINET CLEARANCE	
RF CABINET	
- FRONT -	36"
- REAR -	36"
BATTERY CABINET & 4 STRINGS	
MAXIMUM WEIGHT:	2500 LBS.



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Signature: *Tomas A. Toro-Santos* Date: 6/06/2013

ISSUE DATE 12/20/2012
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 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE:
CABINET DETAILS

SCALE:
 SCALE: NONE

SHEET NUMBER
 A-7

ANTENNA AND COAXIAL CABLE SCHEDULE

SECTOR	ANTENNA NUMBER	ANTENNA MAKE/ MODEL	COAX		AZIMUTH	RAD CENTER	ANTENNA GAIN (dBd) 800 / 1900	ANTENNA FREQUENCY BAND 800 MHz	ANTENNA FREQUENCY BAND 1900 MHz	ELECT. DOWNTILT 800 / 1900	MECH. DOWNTILT 800 / 1900	EFF. DOWNTILT 800 / 1900	TOP JUMPER LENGTH	TOP JUMPER DIA	MINIMUM BENDING RADIUS	CABLE LENGTH	RET LENGTH	RET CABLE MANUFACTURER	RET CABLE MODEL NUMBER
			NUMBER (PER SECTOR)	SIZE (DIA)															
A2	800/1900 MHz	KMW ET-X-TS-70-15-62-18-R-RD	1	SAMSUNG # (4) HFC-1 - 1/4"	105°	130'	13.4-15.9	806-869 MHz	1850-1995 MHz	-6 / -6	0 / 0	-6 / -6	6'-0"	1/2"	17 - 3/4"	240'	6'-0"	TBD	TBD
B2	800/1900 MHz	KMW ET-X-TS-70-15-62-18-R-RD	1	SAMSUNG # (4) HFC-1 - 1/4"	210°	130'	13.4-15.9	806-869 MHz	1850-1995 MHz	-5 / -5	0 / 0	-5 / -5	6'-0"	1/2"	17 - 3/4"	240'	6'-0"	TBD	TBD
G2	800/1900 MHz	KMW ET-X-TS-70-15-62-18-R-RD	1	SAMSUNG # (4) HFC-1 - 1/4"	330°	130'	13.4-15.9	806-869 MHz	1850-1995 MHz	-6 / -6	0 / 0	-6 / -6	6'-0"	1/2"	17 - 3/4"	240'	6'-0"	TBD	TBD
		GPS	1	10'															

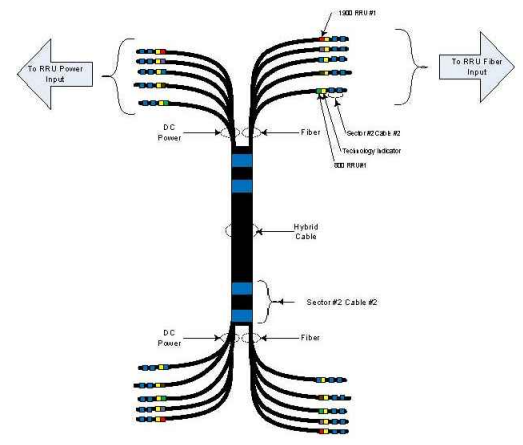
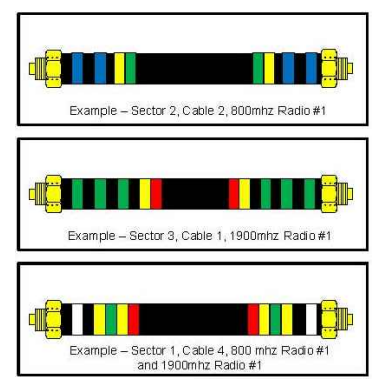
- NOTES:
- EXISTING ANTENNAS ARE CDMA UNLESS NOTED OTHERWISE
 - DIMENSIONS OF EXISTING ANTENNA SPACING OR PLATFORMS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY PRIOR TO START OF CONSTRUCTION.
 - PROPOSED PRINT ANTENNAS INCLUDE RESPECTIVE RRU'S WHICH SHALL BE MOUNTED ON THE PIPE BEHIND THE ANTENNA SIMILAR TO THAT SHOWN ON DETAIL 1, SHEET 5-1.
 - FIELD VERIFY EXISTING AZIMUTH BEFORE RELOCATING THE ANTENNA, IF REQUIRED. PRIOR APPROVAL FROM SPRINT TO BE GRANTED BEFORE RELOCATION OF ANTENNAS.

NOTE:
 CONTRACTOR TO VERIFY ANTENNA INFORMATION WITH CURRENT EBTS PRIOR TO CONSTRUCTION.

ANTENNA RF INFORMATION
 SCALE: NTS

Sector	Cable	First Ring	Second Ring	Third Ring
1 Alpha	1	Green	No Tape	No Tape
1	2	Blue	No Tape	No Tape
1	3	Brown	No Tape	No Tape
1	4	White	No Tape	No Tape
1	5	Red	No Tape	No Tape
1	6	Slate	No Tape	No Tape
1	7	Purple	No Tape	No Tape
1	8	Orange	No Tape	No Tape
2 Beta	1	Green	Green	No Tape
2	2	Blue	Blue	No Tape
2	3	Brown	Brown	No Tape
2	4	White	White	No Tape
2	5	Red	Red	No Tape
2	6	Slate	Slate	No Tape
2	7	Purple	Purple	No Tape
2	8	Orange	Orange	No Tape
3 Gamma	1	Green	Green	Green
3	2	Blue	Blue	Blue
3	3	Brown	Brown	Brown
3	4	White	White	White
3	5	Red	Red	Red
3	6	Slate	Slate	Slate
3	7	Purple	Purple	Purple
3	8	Orange	Orange	Orange

Frequency	Indicator	ID
800#1	Yellow	Green
1900#1	Yellow	Red
1900#2	Yellow	Brown
Reserved	Yellow	Blue
Reserved	Yellow	Slate
Reserved	Yellow	Orange
Reserved	Yellow	White
1600#1	Yellow	Purple



COLOR CODING CHARTS
 SCALE: NTS

[CPRI Cable connection]

L9CA-B4T (Shelf ID: 2)

L9CA-B4T	L0	L1	L2	L3	L4	L5
Tube Color	RED	RED	RED			
Cable Indication	Taping 1 turn	Taping 2 turn	Taping 3 turn			
Cable Color	Blue	Blue	Blue			
Destination	1.9G	1.9G	1.9G			
RRH	Alpha	Beta	Gamma			

CIMA-A (Shelf ID: 1)

CIMA-A	L0	L1	L2	L3	L4	L5
Tube Color	RED	RED	RED			
Cable Indication	Taping 1 turn	Taping 2 turn	Taping 3 turn			
Cable Color	Brown	Brown	Brown			
Destination	1.9G	1.9G	1.9G			
RRH	Alpha	Beta	Gamma			

CIMA-A (Shelf ID: 0)

CIMA-A	L0	L1	L2	L3	L4	L5
Tube Color	RED	RED	RED	BLACK	BLACK	BLACK
Cable Indication	Taping 1 turn	Taping 2 turn	Taping 3 turn	Taping 1 turn	Taping 2 turn	Taping 3 turn
Cable Color	Orange	Orange	Orange	Orange	Orange	Orange
Destination	1.9G	1.9G	1.9G	800M	800M	800M
RRH	Alpha	Beta	Gamma	Alpha	Beta	Gamma

[Note]
 (1) Indication taping each optical cable is made by installation team.
 (2) Usage of these ports is TBD.

MMBS COLOR CODING CHARTS
 SCALE: NTS



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ISSUE PHASE FINAL DATE ISSUED 12/20/2012

SITE ID #: CH54XC919
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SITE TYPE: WATER TOWER

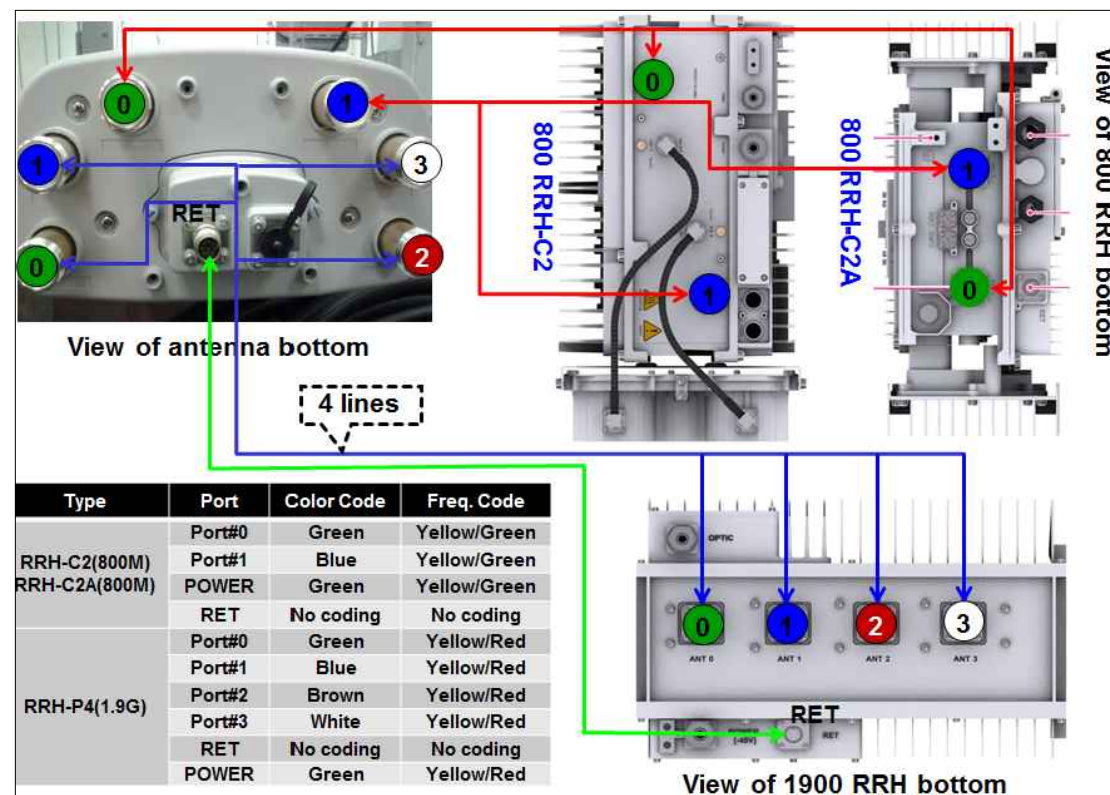
SHEET TITLE: RF INFORMATION

SCALE: NONE

SHEET NUMBER A-8

SECTOR	PROPOSED ANTENNA COUNT	PROPOSED ANTENNA HEIGHT/RAD CENTER	PROPOSED ANTENNA MANUFACTURER	PROPOSED ANTENNA MODEL #	RRU FILTER	800 MHz PROPOSED_RRU MODEL #	1900 MHz PROPOSED_RRU MODEL #	PROPOSED_RRU COUNT	PROPOSED HYBRID CABLE COUNT	PROPOSED_RRU INSTALLATION LOCATION
A2	1	130'	KMW	ET-X-TS-70-15-G2-18-R-RD	(1) 800 MHz FILTER	RRH-C2A	RRH-P4	2	1	ANTENNAS ON TOWER
B2	1	130'	KMW	ET-X-TS-70-15-G2-18-R-RD	(1) 800 MHz FILTER	RRH-C2A	RRH-P4	2	1	ANTENNAS ON TOWER
G2	1	130'	KMW	ET-X-TS-70-15-G2-18-R-RD	(1) 800 MHz FILTER	RRH-C2A	RRH-P4	2	1	ANTENNAS ON TOWER

RRU RF INFORMATION ①
 SCALE: NTS



KMW ANTENNA JUMPER CABLE CONNECTION ②
 SCALE: NTS



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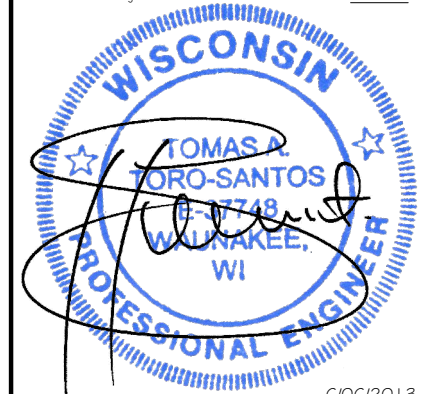
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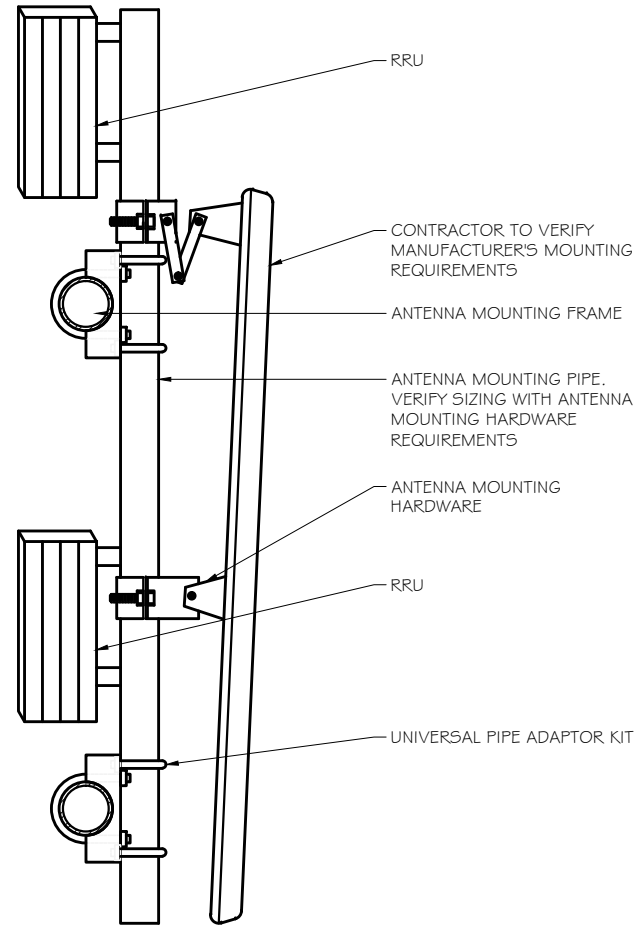
SITE NAME: F1-4812-ET-PP
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SITE TYPE: WATER TOWER

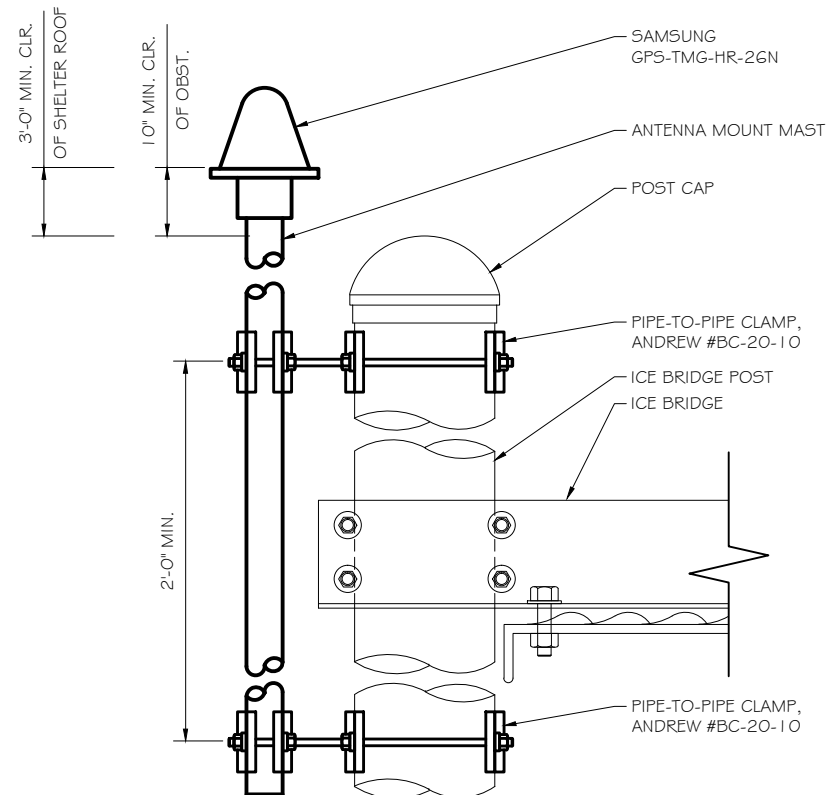
SHEET TITLE:
 RF DATA

SCALE:
 SCALE: NONE

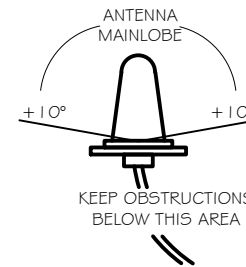
SHEET NUMBER A-9



ANTENNA MOUNT DETAIL
 SCALE: NTS



GPS MOUNTING DETAILS
 SCALE: NTS



- NOTES:
- A. VERIFY ALL ATTACHMENT AND MOUNTING HARDWARE WITH CONSTRUCTION MANAGER.
 - B. SEE MFR.'S SPECIFICATIONS FOR ADDITIONAL MOUNTING REQUIREMENTS.
 - C. GPS MUST BE 10 FT AWAY FROM ANY TX ANTENNA.



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Signature: *Tomas A. Toro-Santos* Date: 6/06/2013

ISSUE PHASE	FINAL	DATE ISSUED	12/20/2012
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SITE ID #: CH54XC919

SITE NAME: F1-4812-ET-PP
 WATER TOWER

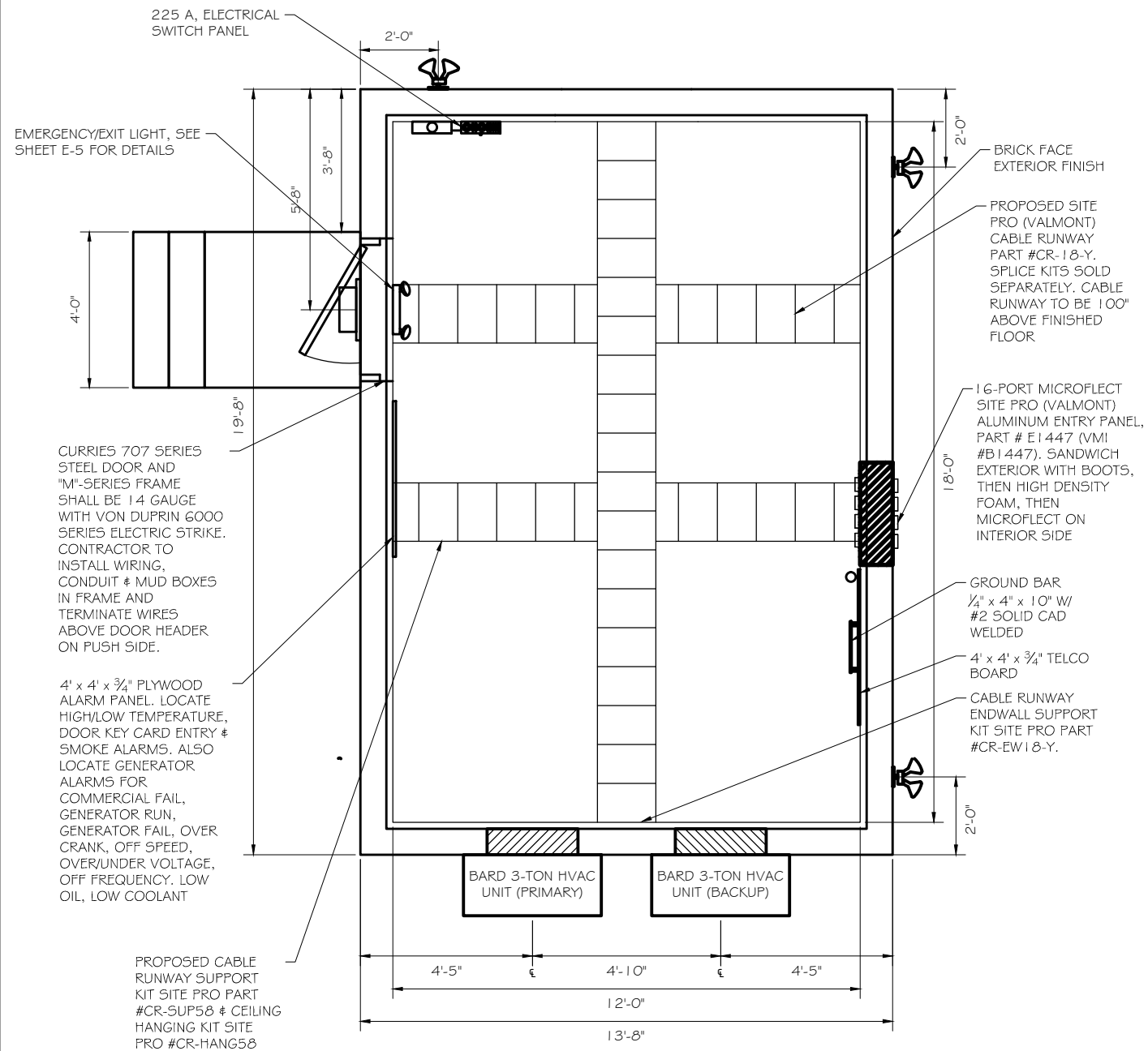
ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

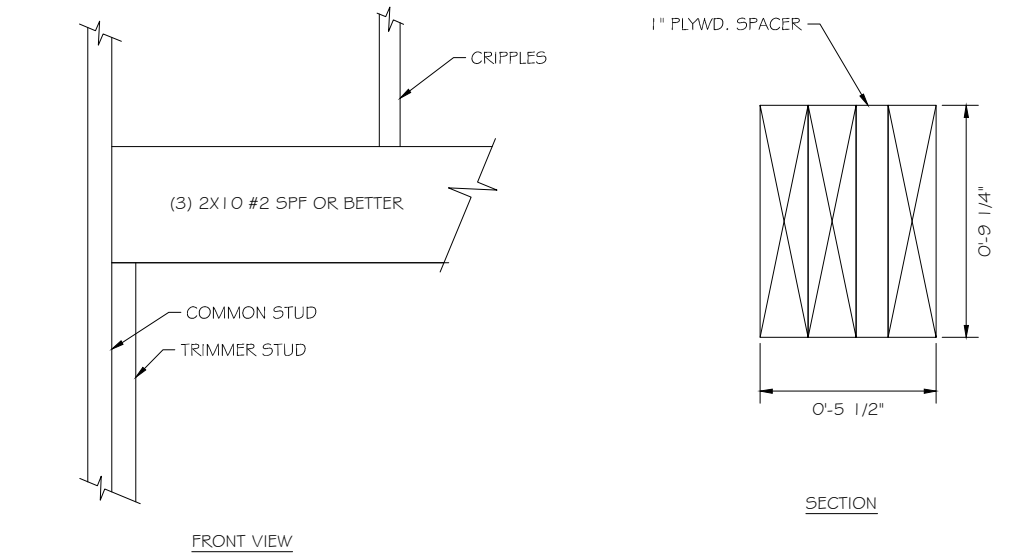
SHEET TITLE:
STRUCTURAL DETAILS

SCALE:
 SCALE: NONE

SHEET NUMBER
 S-1

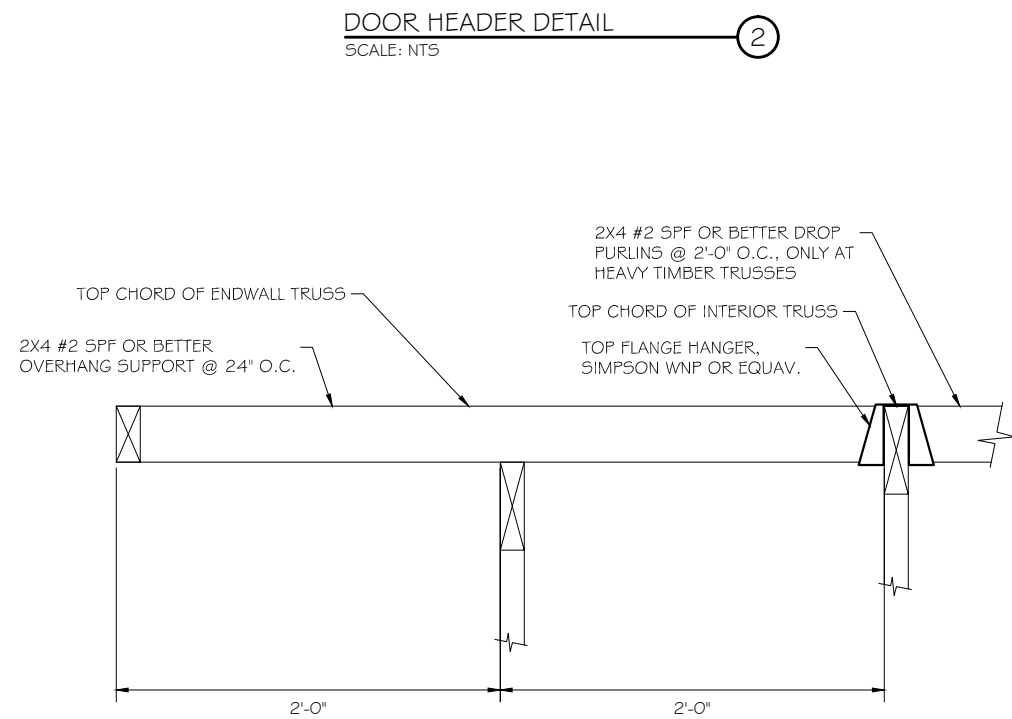


BUILDING PLAN
 SCALE: 1/4" = 1'-0" 1



FRONT VIEW

SECTION



DOOR HEADER DETAIL
 SCALE: NTS 2

END SUPPORT SECTION
 SCALE: NTS 3



6391 SPRINT PARKWAY
 OVERLAND PARK, KS 66251

NEXIUS
 6737 WASHINGTON STREET
 SUITE 2265
 WEST ALLIS, WI 53214
 OFFICE: (414) 941-3159



1120 Dallas Street, Sauk City, WI 53583
 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com

PROJECT NUMBER 23941

MARK	DATE	DESCRIPTION
1	6/6/2013	PROPOSED EQUIPMENT SHELTER

Certification & Seal:
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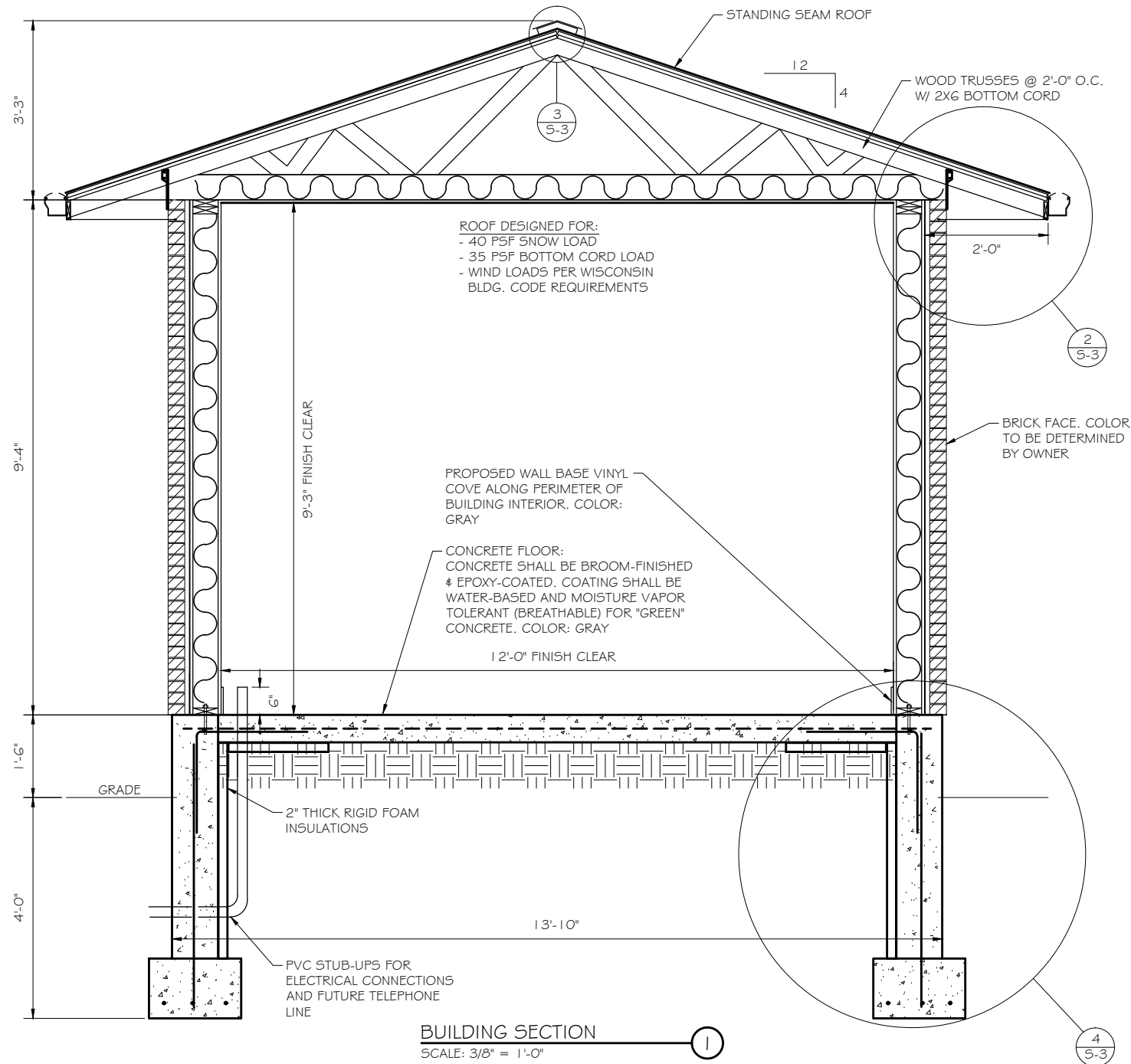
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 SITE TYPE: WATER TOWER

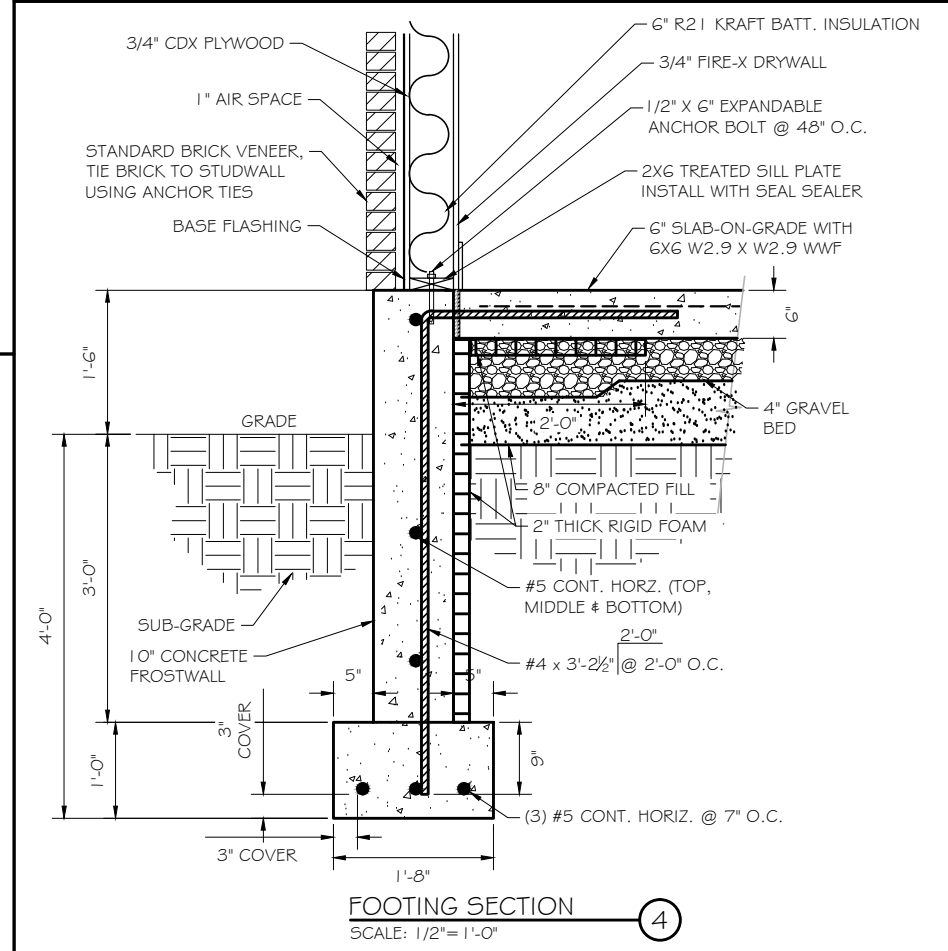
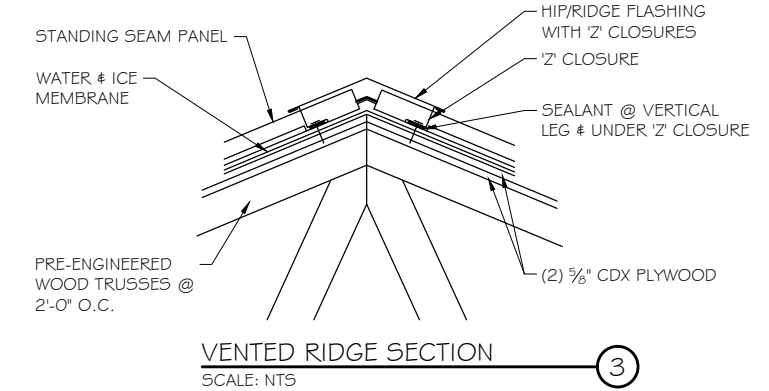
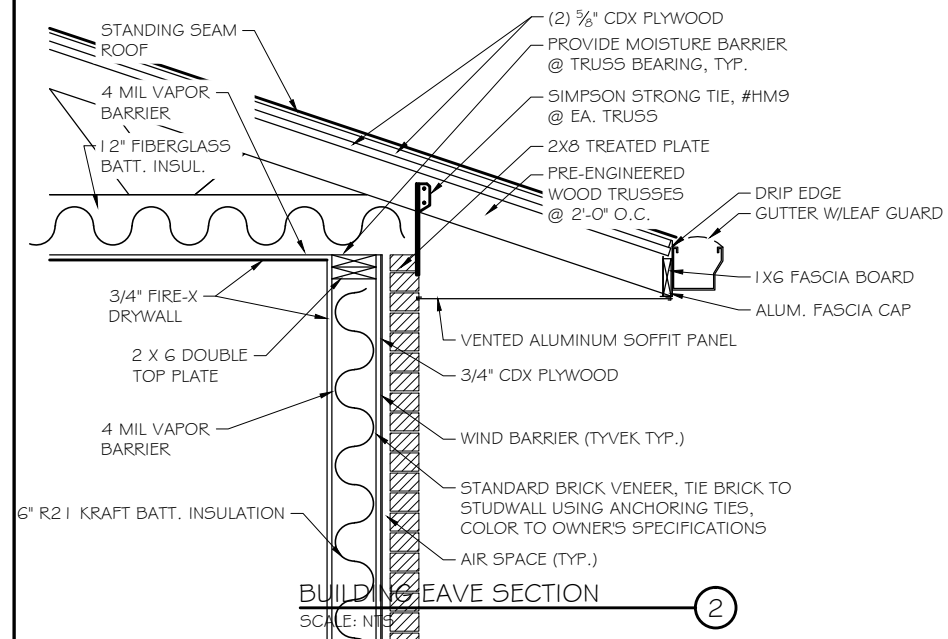
SHEET TITLE:
STRUCTURAL DETAILS

SCALE:
 SCALE: NONE

SHEET NUMBER 5-2



- NOTES:**
1. BOTTOM OF FOOTING IS TO BE 4'-0" BELOW GRADE
 2. SLOPE GRADE AWAY FROM FOUNDATION.
 3. WWF & REBAR IS 60 KSI MINIMUM.
 4. OVERLAP SPLICES ARE ALLOWED FOR REINFORCING BAR, USE 18" MINIMUM LAP.
 5. CONCRETE STRENGTH, $F_c = 3000$ PSI @ 28 DAYS.
 6. USE SHIMS AS REQUIRED TO ASSURE SHELTER IS BEARING AT PERIMETER. SEAL PERIMETER WITH CAULK OR GROUT AS DESIRED.



Sprint

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RAMAKER & ASSOCIATES, INC.

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Signature: *Tomas A. Toro-Santos*
 Date: 6/06/2013

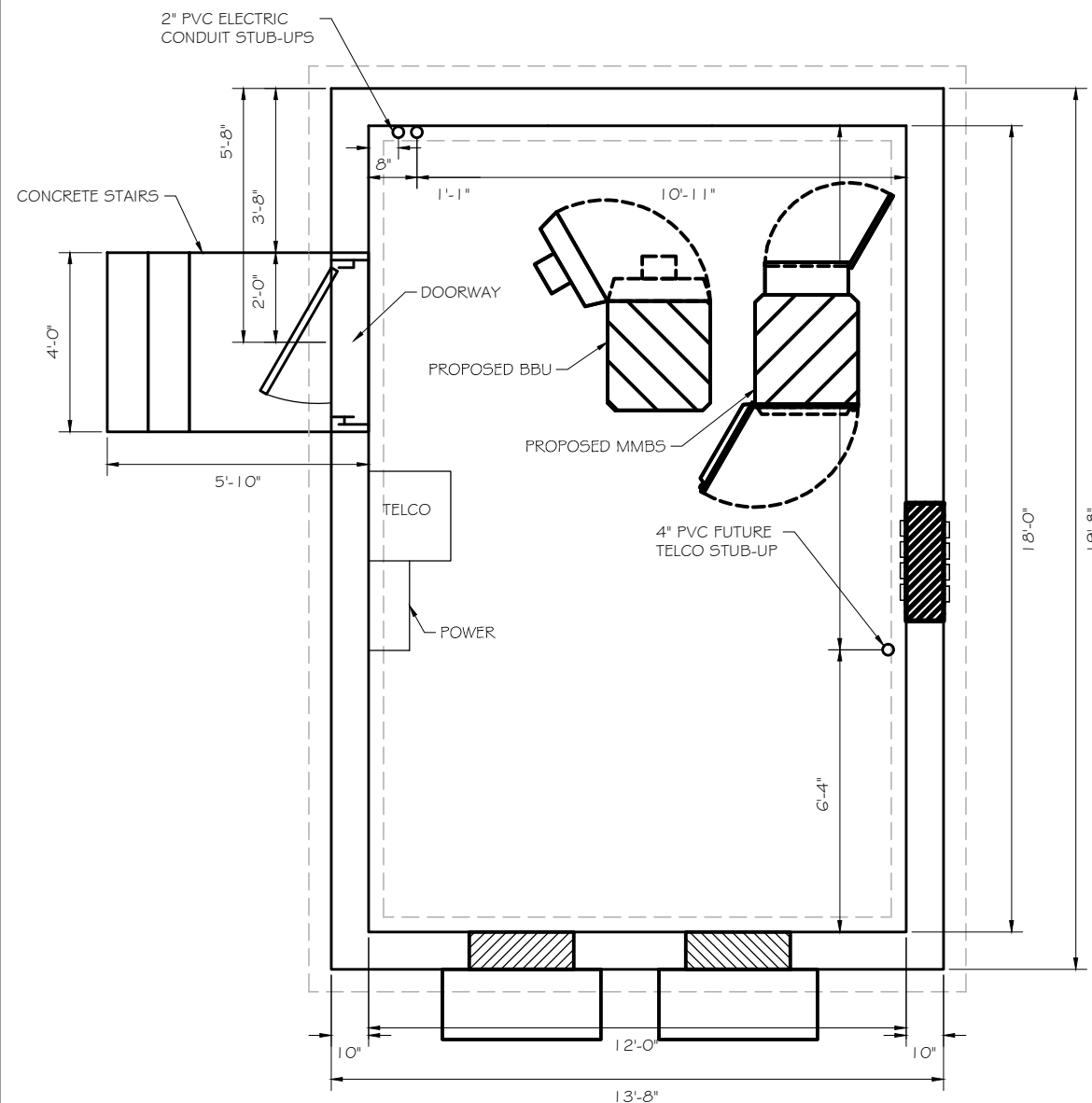
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 ADDRESS: 5726 104TH STREET, HWY 165 PLEASANT PRAIRIE, WI 53158
 SITE TYPE: WATER TOWER

SHEET TITLE: STRUCTURAL DETAILS

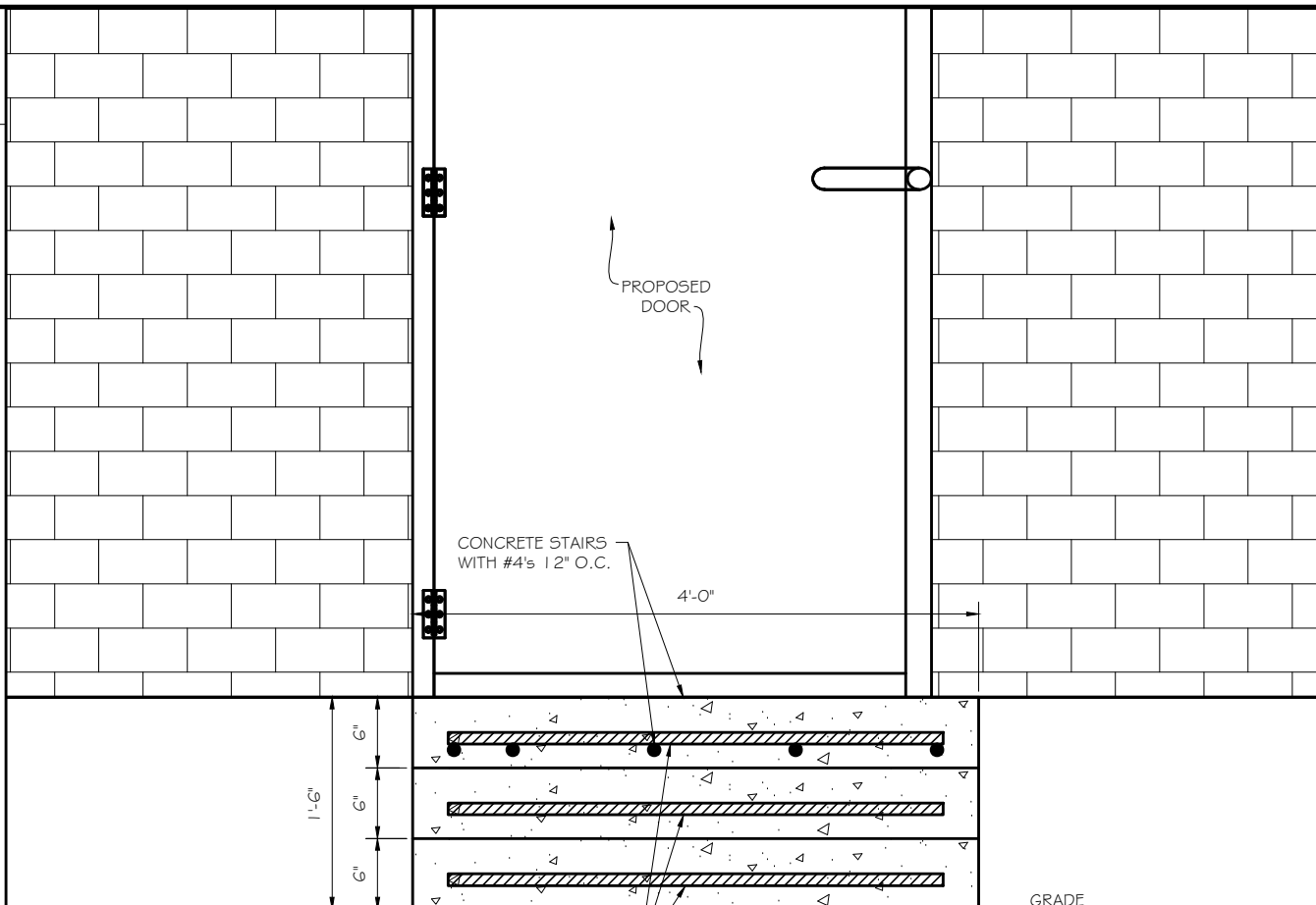
SCALE: NONE

SHEET NUMBER 5-3



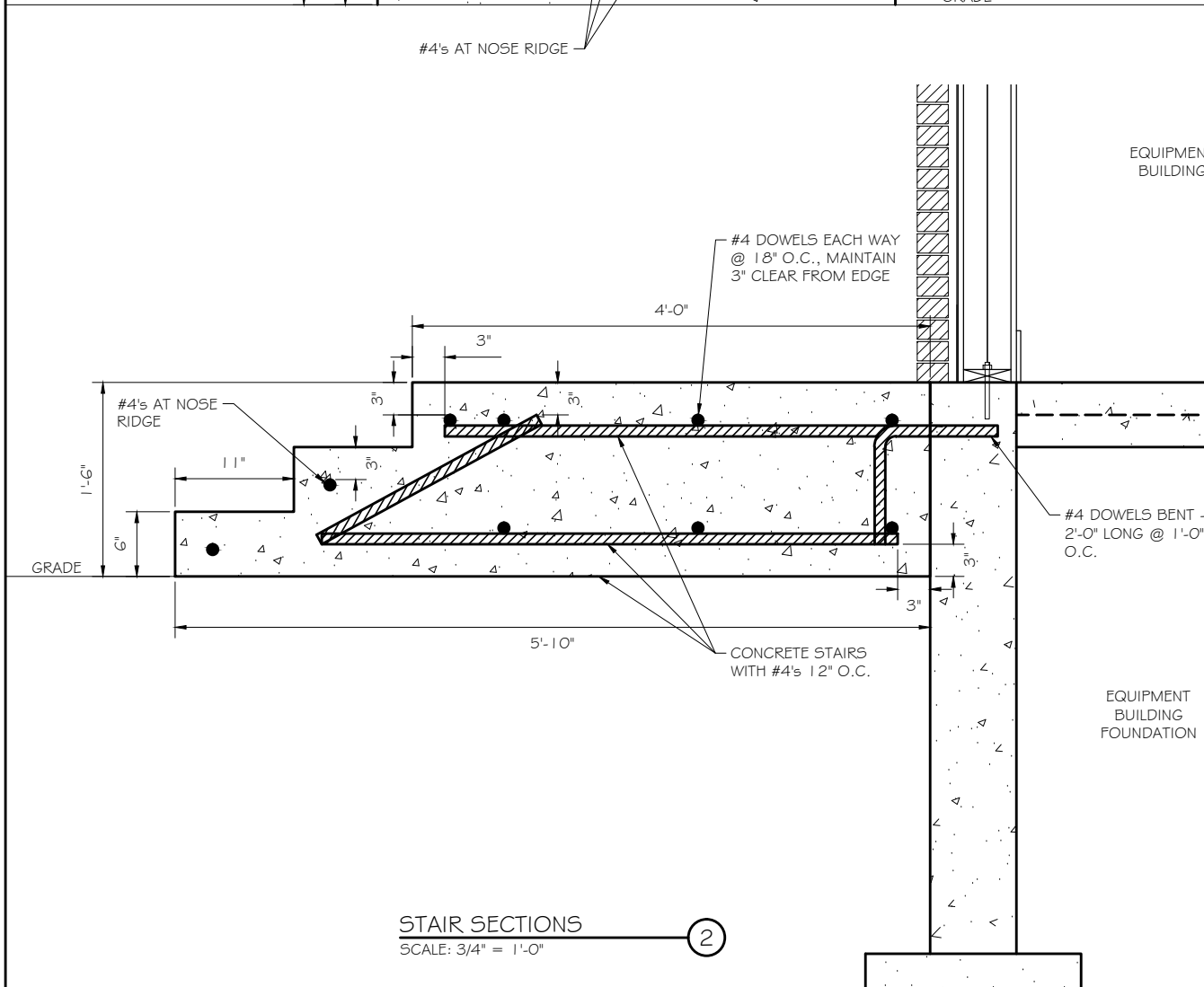
BUILDING SECTION
 SCALE: 1/4" = 1'-0"

1



STAIR SECTIONS
 SCALE: 3/4" = 1'-0"

2



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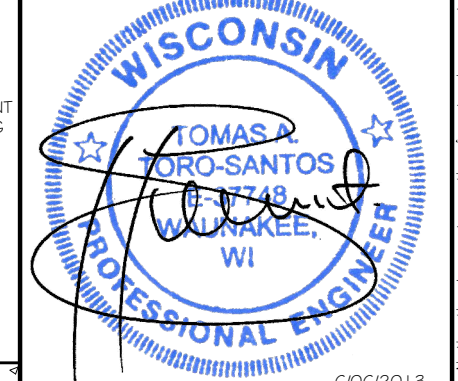


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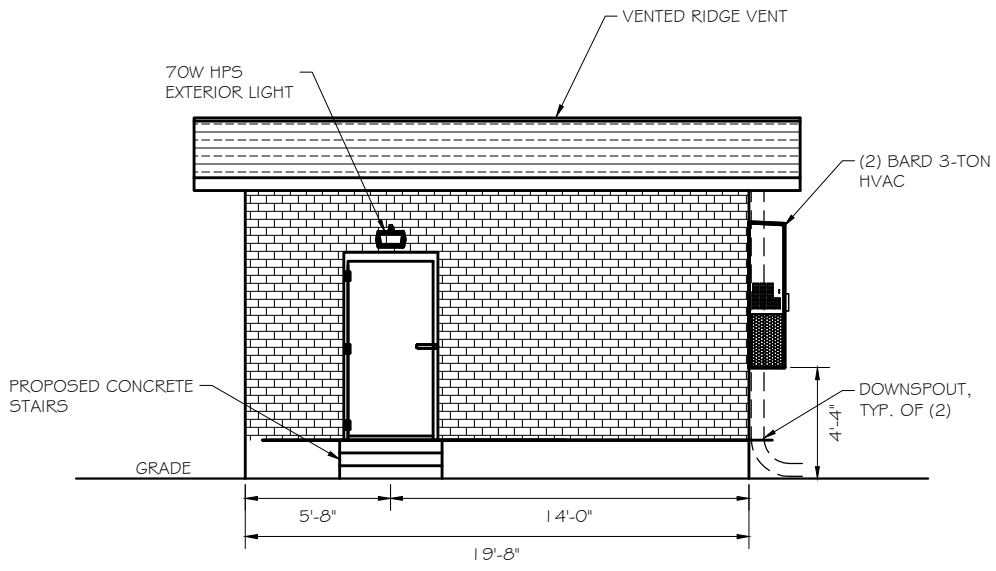
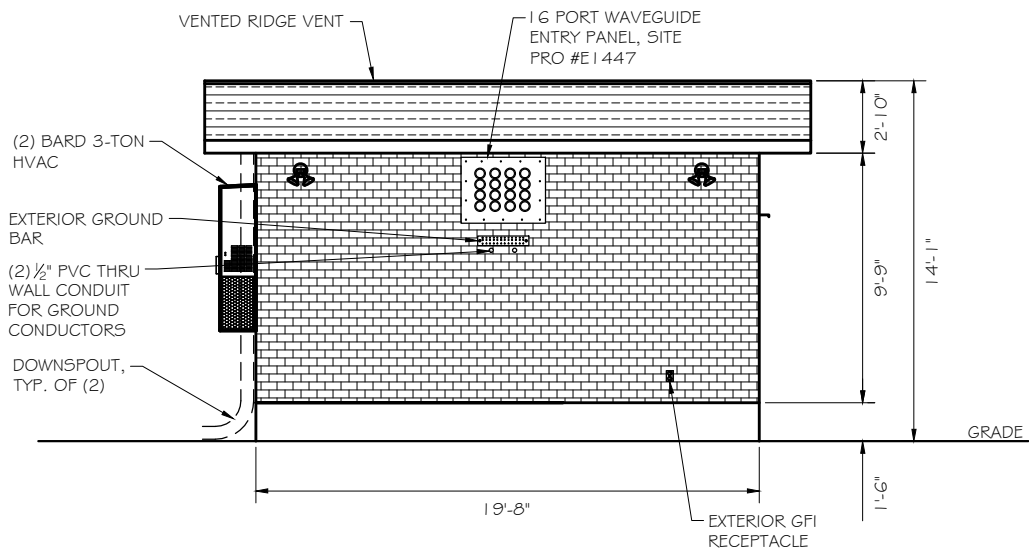
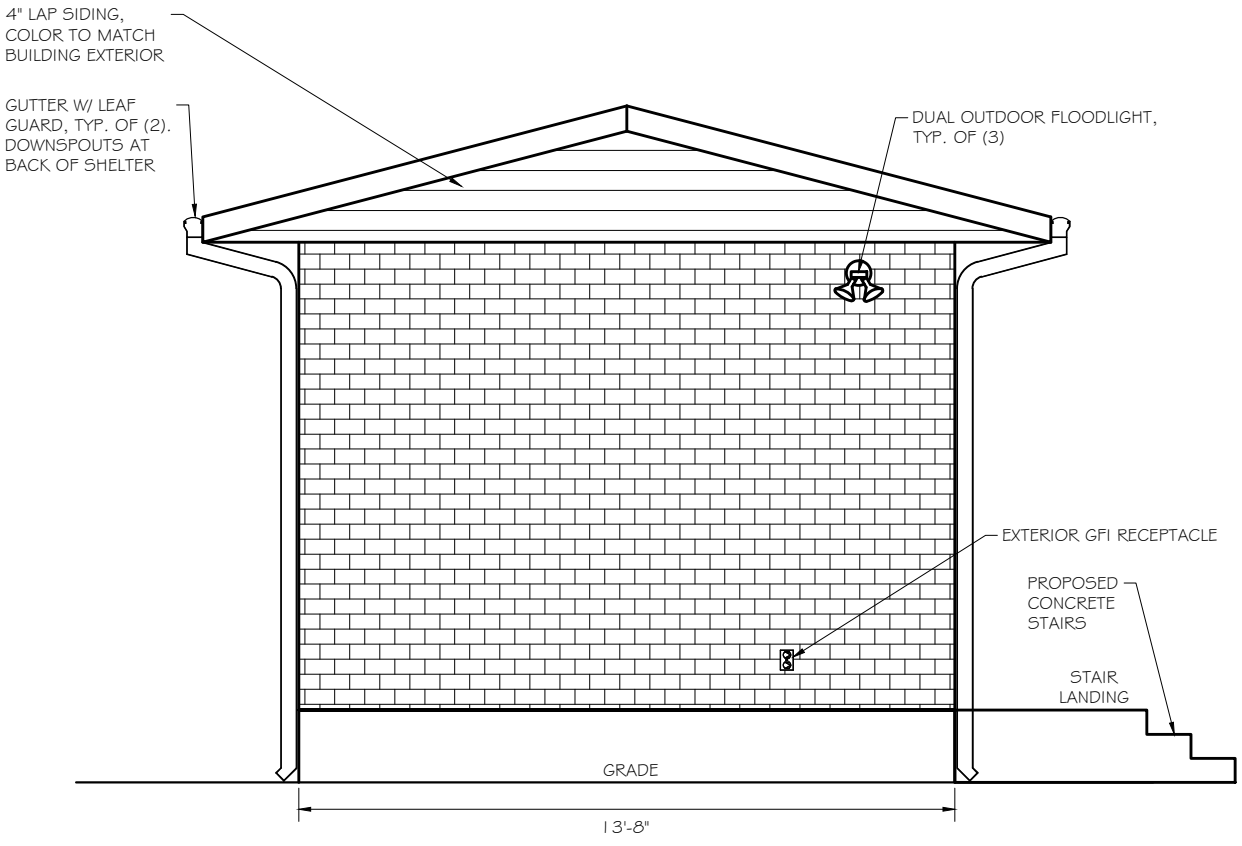
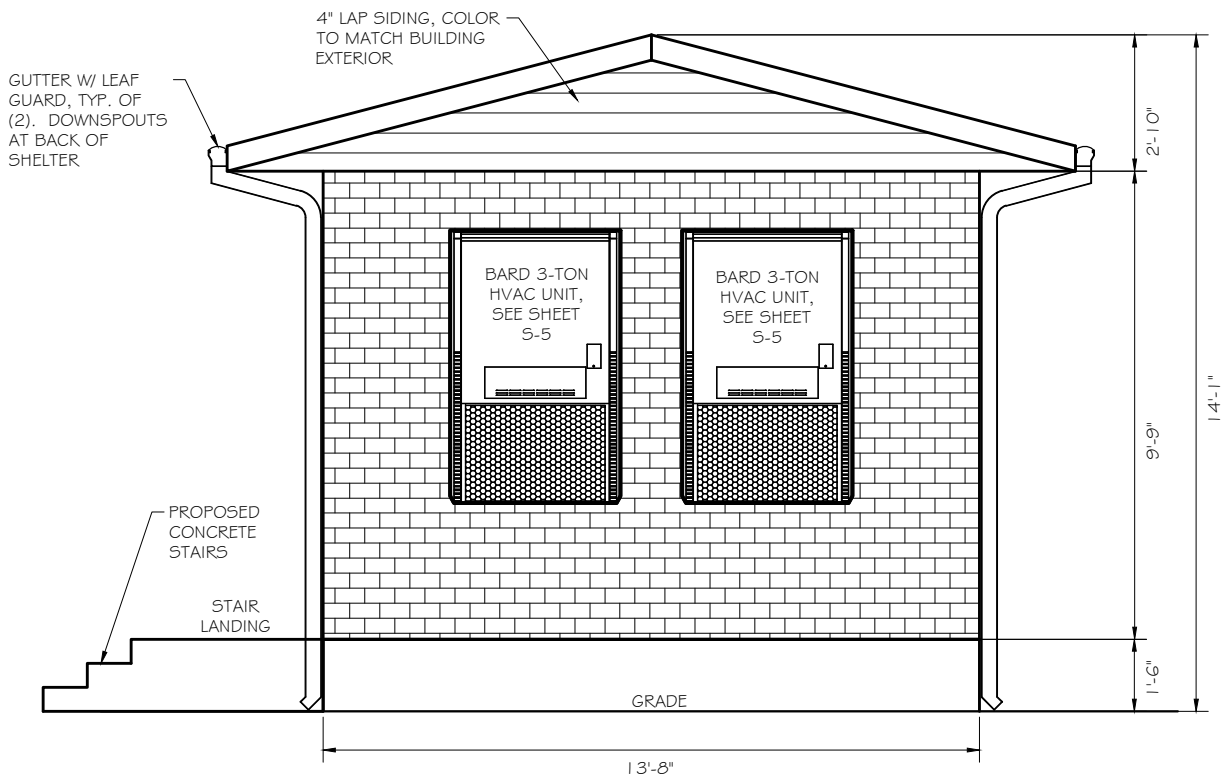
SITE ID #: CH54XC919
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 ADDRESS: 5726 104TH STREET, HWY 165 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE:
STRUCTURAL DETAILS

SCALE:
 SCALE: NONE

SHEET NUMBER
 S-4



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 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE:
STRUCTURAL DETAILS

SCALE:
 SCALE: NONE

SHEET NUMBER
 S-5



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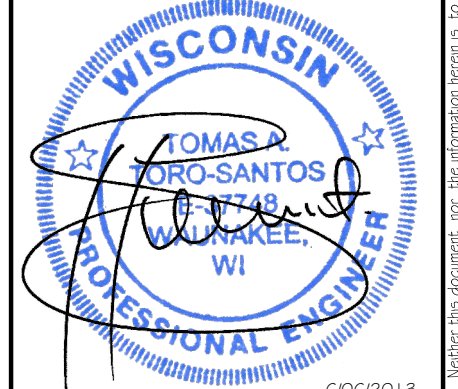
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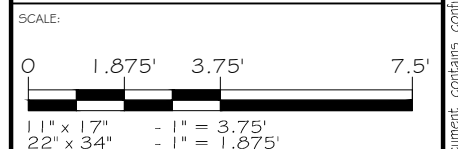
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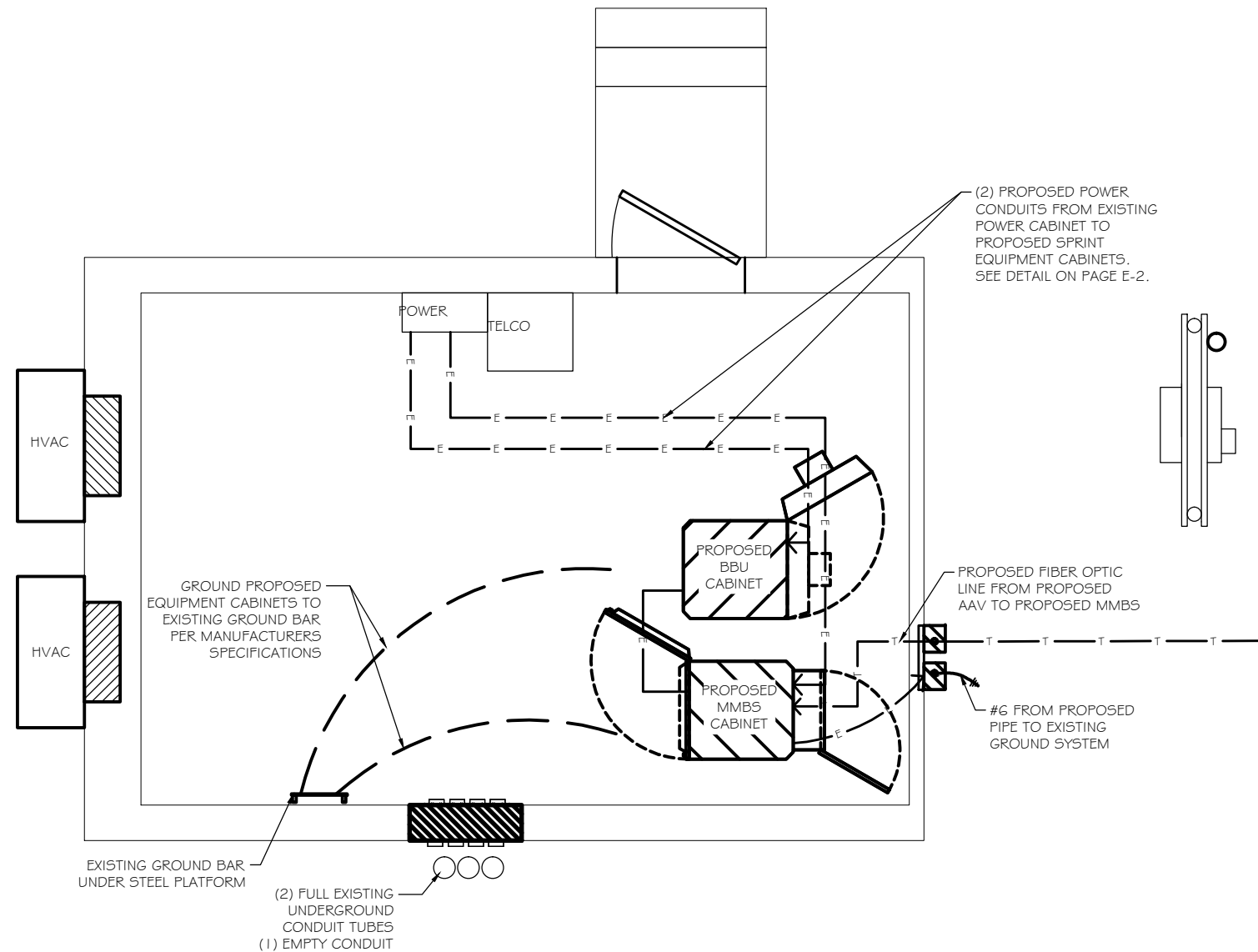
SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE:
**UTILITY & GROUNDING
 SITE PLAN**



SHEET NUMBER E-1



LEGEND:	
-----	EXISTING GROUND CABLE
-----	PROPOSED GROUND CABLE
■	MECHANICAL CONNECTION
▲	EXOTHERMIC CONNECTION
⊙	FIRE HYDRANT
☼	LIGHT POLE
⊕	UTILITY POLE
-----	EASEMENT
-----	PROPOSED ELECTRIC
-----	PROPOSED TELCO
FO FO FO	EXISTING FIBER
-----	OVERHEAD ELECTRIC
-----	RIGHT OF WAY
-----	GAS LINE
-----	ELECTRIC LINE
-----	TELEPHONE LINE

UTILITY & GROUNDING SITE PLAN
 SCALE: 1" = 3.75'

NOTE:
 UTILITY/GROUNDING LINES ARE SHOWN FOR SCHEMATIC PURPOSES ONLY & DO NOT REPRESENT THE EXACT LOCATION OF THE RUN. CONTRACTOR SHALL FIELD VERIFY PROPOSED & EXISTING SERVICE LOCATIONS. NOTIFY CONSTRUCTION/PROJECT MANAGER IMMEDIATELY OF ANY DISCREPANCIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
**DIGGERS HOTLINE 811 OR
 1-800-242-8511**
 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



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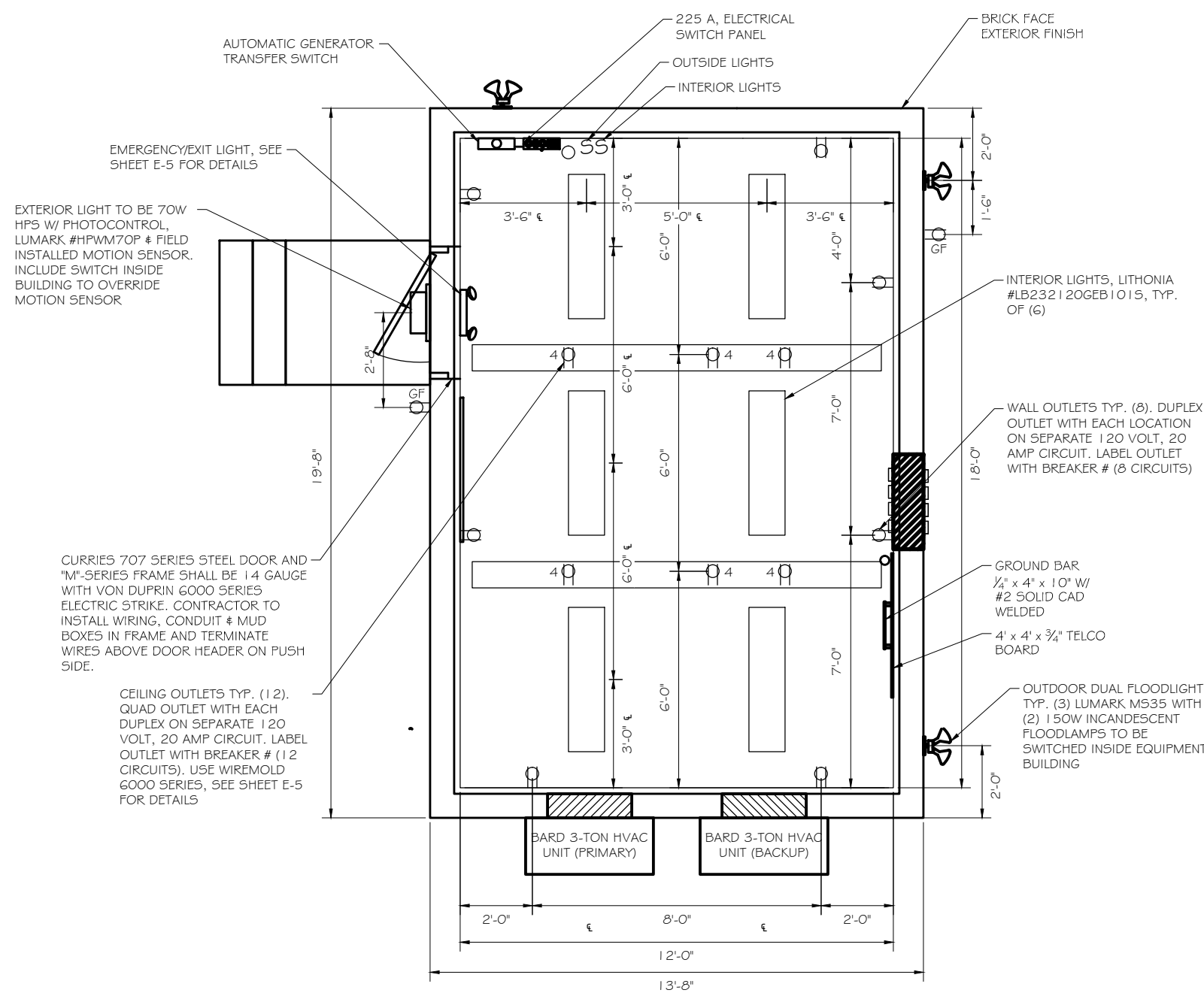
SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE:
BUILDING UTILITY PLAN

SCALE:
 SCALE: NONE

SHEET NUMBER E-2



BUILDING UTILITY PLAN
 SCALE: NTS

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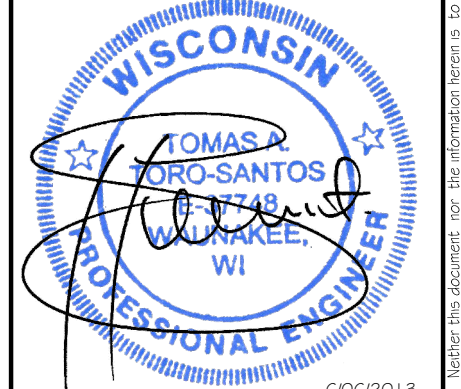
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ISSUE DATE DATE
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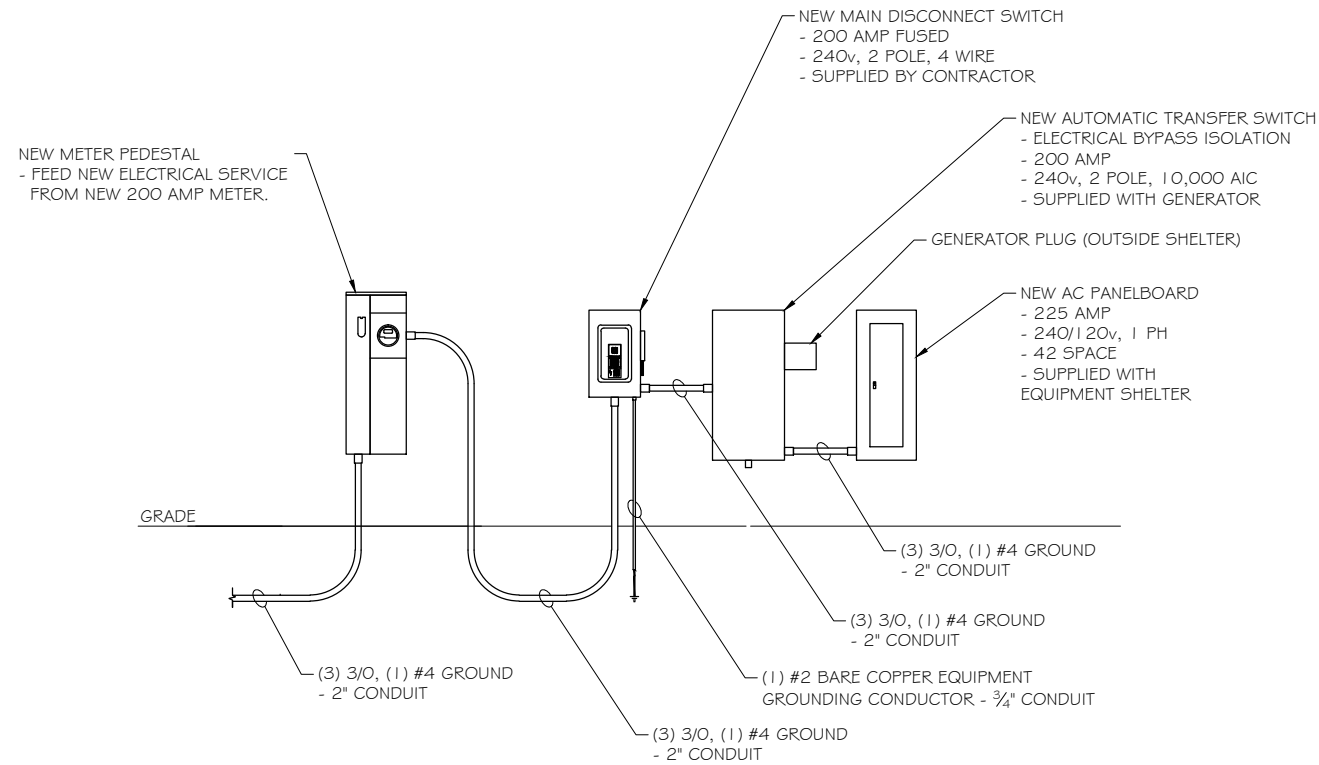
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 WATER TOWER
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 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

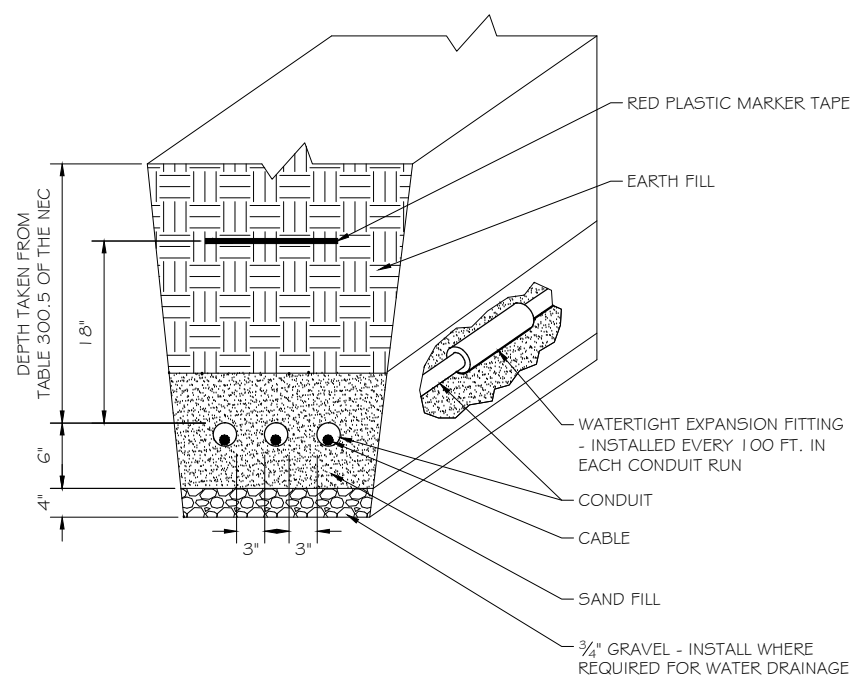
SHEET TITLE:
 UTILITY RISER AND DETAILS

SCALE:
 SCALE: NONE

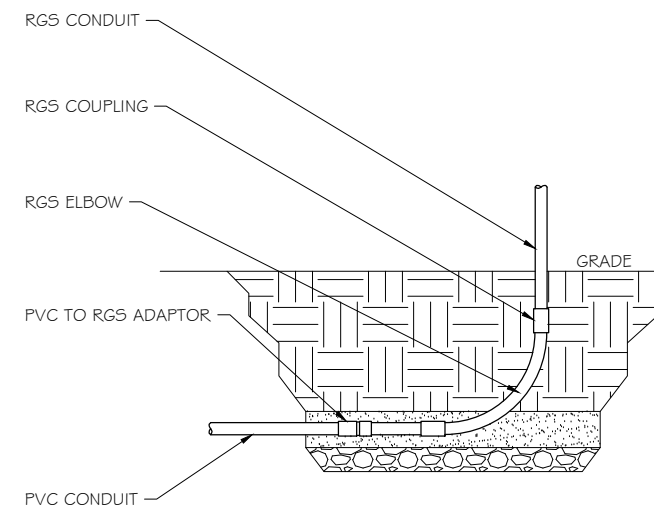
SHEET NUMBER E-3



ELECTRICAL UTILITY RISER
 SCALE: NTS



UNDERGROUND SERVICE CONDUIT DETAIL
 SCALE: NTS



CONDUIT TRANSITION DETAIL
 SCALE: NTS



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 SITE TYPE: WATER TOWER

SHEET TITLE:
RISER DIAGRAM

SCALE:
 SCALE: NONE

SHEET NUMBER
 E-4

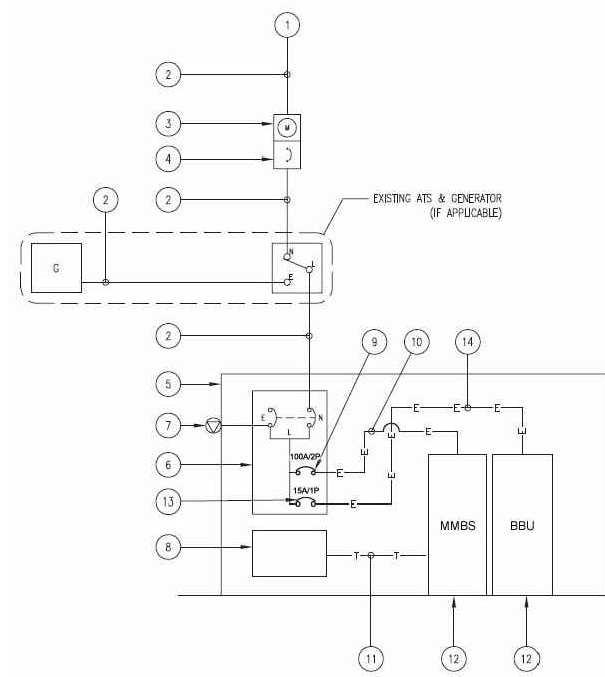
KEY NOTE LEGEND

EXISTING ITEMS

- 1) ELECTRICAL SERVICE, 200 AMP, 120/240V
- 2) CONDUIT AND CONDUCTORS.
- 3) KWH METER.
- 4) 200A 2P CIRCUIT BREAKER OR FUSED DISCONNECT.
- 5) EQUIPMENT SHELTER.
- 6) 200A LOAD CENTER WITH MECHANICAL INTERLOCK MTS.
- 7) GENERATOR RECEPTACLE.
- 8) TELCO BACKBOARD

NEW ITEMS

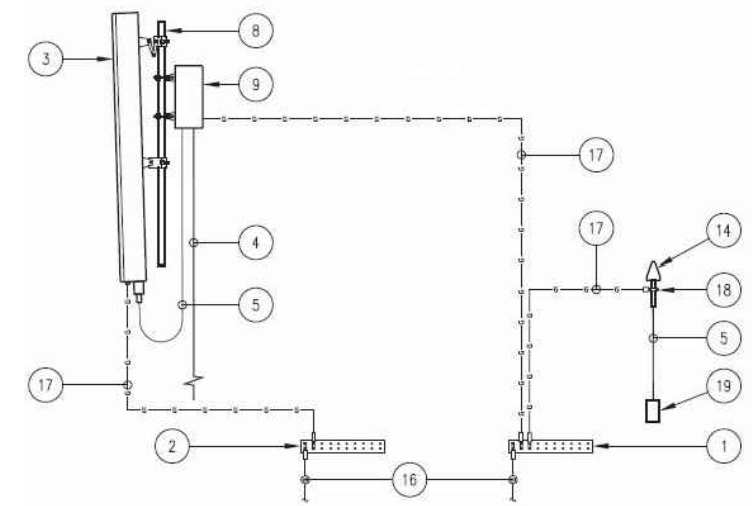
- 9) 100A 2P CIRCUIT BREAKER TO FEED MMBS CABINET; SEE ELECTRICAL PANEL SCHEDULE ON PAGE E-3 FOR AVAILABLE BREAKER POSITIONS.
- 10) (2) #2 THWN CU + (1) #2 THWN CU + (1) #6 G IN 2" CONDUIT.
- 11) 2" TELCO CONDUIT WITH PULLSTRING.
- 12) EQUIPMENT CABINETS
- 13) 15A 1P CIRCUIT BREAKER TO FEED BATTERY CABINET FAN; SEE ELECTRICAL PANEL SCHEDULE ON PAGE E-3 FOR AVAILABLE BREAKER POSITIONS.
- 14) (2) #12 THWN CU + (1) #12 G IN 3/4" CONDUIT.



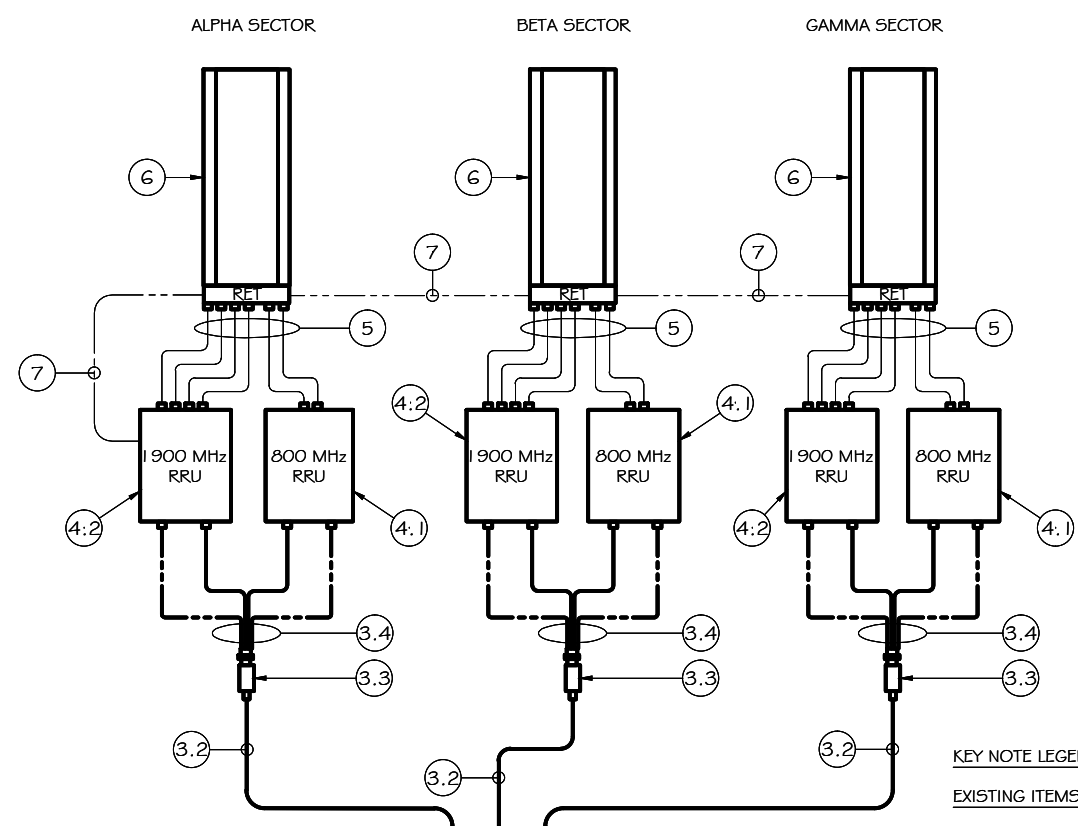
RISER DIAGRAM
 SCALE: NTS

KEY NOTE LEGEND

- 1) MAIN GROUND BAR.
- 2) TOWER GROUND BAR.
- 3) NEW ANTENNA.
- 4) HYBRID FANOUT CABLE.
- 5) COAXIAL JUMPER CABLE.
- 6) N/A.
- 7) N/A.
- 8) PIPE MOUNT.
- 9) REMOTE RADIO HEAD (RRU)
- 10) UNUSED
- 11) UNUSED
- 12) UNUSED
- 13) UNUSED
- 14) GPS ANTENNA.
- 15) N/A.
- 16) #2 AWG SOLID BARE TINNED COPPER WIRE.
- 17) UNUSED
- 18) GROUND CLAMP FOR GPS MOUNT W/ #6 AWG GROUND LEAD
- 19) GPS SURGE ARRESTOR.



ANTENNA GROUNDING SCHEMATIC
 SCALE: NTS



KEY NOTE LEGEND

EXISTING ITEMS

- 1) N/A.

NEW ITEMS

- 2) MMBS OUTDOOR EQUIPMENT CABINET.
- 3) HYBRID FANOUT CABLE, CONSISTING OF:
 - 3.1. MMBS CABINET CONNECTION.
 - 3.2. MAIN FIBER OPTIC & DC POWER HYBRID CABLE
 - 3.3. DISTRIBUTION CLOSURE
 - 3.4. FIBER OPTIC & DC POWER DISTRIBUTION CABLES
- 4) RRU
 - 4.1. RRU-C2A
 - 4.2. RRU-P4
- 5) COAXIAL JUMPER CABLE.
- 6) NEW 1.9MHz ANTENNA
- 7) RET CABLE
- 8) N/A.
- 9) N/A.
- 10) N/A.
- 11) N/A.
- 12) GPS ANTENNA

RF RISER DIAGRAM
 SCALE: NTS



6000® Series Steel Raceway

Two-Piece Steel Surface Raceway

Wiremold® 6000® Series Raceway can be used divided for separate wiring circuits or multi-service applications. For large cabling installations, 6000 can be used undivided as headers and feeders or to bring wiring to a specified location. 6000 Series Raceway is ideal for all applications requiring a high cable capacity, dual service steel raceway. Commercial, institutional, and industrial applications all benefit from the 6000 Series rigid steel construction and durable Ivory ScuffCoat™ finish. 6000 Series Raceway is also ideal for municipalities that require either all steel construction or prohibit nonmetallic cable management systems.

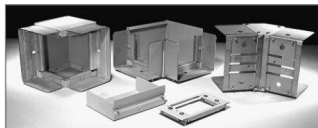


V6000 Raceway shown as a divided system with Activate inserts and power device with a 4050 device bracket.

FEATURES & BENEFITS

- Steel raceway.** Provides superior strength for any dry interior location installation.
- Extra large cross sectional area.** Provides space for large wiring requirements or installations that use large diameter cable for power and/or data/communications.
- Dividable raceway base.** Snap-in divider creates two-compartment raceway. For bringing large amounts of power and data/communications cable to one location.
- Complete line of fittings.** Provides complete wiring solution and allows for interconnection between raceway systems.
- Gray baked enamel and Ivory ScuffCoat finish.** Enamel finish assures durability; can be easily overpainted. Durable Ivory ScuffCoat finish makes a scratch resistant surface.
- Installs as a feeder or header raceway.** Ideal for overhead, open spaces and underfloor applications.
- Accommodates large size devices.** Large size raceway accepts single- and dual-gang devices up to 100 amps and circuit breakers up to three pole.
- Pre-cut covers for standard outlet center locations.** For mounting devices on various centers without cutting the covers which reduces number of field cuts for labor savings.
- Base and cover cutters.** Manually operated cutters are lightweight and portable. Cutters offer labor savings for any size job and maintain a factory clean and square cut.
- Datacom connectivity options.** Accepts industry standard and proprietary devices from a wide range of manufacturers to provide a seamless and aesthetically pleasing interface for voice, data, audio, and video applications at the point of use.
- ADA compliant.** Raceway and fittings can be installed in conformance with ADA requirements.
- UL Listed and CSA Certified.** Raceway UL file E4376 Guide RJBT, CSA file LR350. Fittings UL file 41751 Guide RJPR, CSA file 350 and 48952.

Now compatible with A/V devices.



New 4047 Faceplates accommodate a wide range of power and communications applications.

E0530R14 - Updated May 2010 - For latest specs visit www.legrand.us/wiremold

CEILING OUTLET RACEWAY
SCALE: NTS



FEATURES & SPECIFICATIONS

INTENDED USE — Suitable for applications requiring both exit sign and unit equipment. Attractive, less than 10 inches tall, streamlined design is great for above-the-door applications and other tight fits. High-output version with remote lamps are ideal for outdoor emergency egress lighting.

CONSTRUCTION — Engineering-grade thermoplastic housing is impact-resistant, scratch-resistant and corrosion-proof. UL94V-0 flame rating. UV-stable white resin resists discoloration from natural and man-made light sources.

Rugged utility housing snaps together with no additional fasteners. Frontplate and back cover are interchangeable and housing, frontplate and back cover are easily removable for lamp compartment access. Universal, directional chevrons inserts are easily removed and reinserted.

Two 5.4W T-5 wedge-base krypton lamps with multi-faceted reflector and acrylic lenses provide superior optical control. Unique solenoid-and-point arrangement permits full-range adjustment in lamp head direction.

Uniform graphics illumination without shadows or hot spots. Letters 6" high with 3/4" stroke, with 100 ft. viewing distance rating, based upon UL924 standard.

Special wording available with Panel Face in red lettering only. See notes.

U.S. Patent No. D484,272; 5,526,251; 5,611,163; 5,797,673; 5,954,433; 6,142,648 and 6,848,798. Canada Patent No. 80,141, 2,180,495.

OPTICS — The typical life of the exit LED lamp is 10 years, based on continuous operation. Low energy consumption — only 3.3 watts.

ELECTRICAL — Custom microchip charger, developed by Lithonia Lighting Emergency Systems, provides increased reliability and maximizes battery life. AC/DC most allows battery connection before AC power is applied and prevents battery damage from deep discharge.

Battery: Sealed, maintenance free lead-calcium battery standard delivers 90 minutes capacity to emergency lamps. Nickel-cadmium battery is optional.

Two-rate regulated charger minimizes energy consumption and provides low operating costs. Filtered charger output minimizes charge voltage ripple and extends battery life. Thermal protection senses circuitry temperature and maintains. Optional high-output battery (HO) to power up to 6-watt, 12-watt remote load. See chart on back for details.

INSTALLATION — Top, end or back mounting. Housing snaps to canopy with four positive-locking tabs. Cam locking pin secures housing to canopy.

Early removed mounting knockouts. Conduit entry knockout for 1/2" flexible conduit, J-box pattern on back panel.

LISTING — UL listed. Damp location 50°F to 104°F (10°-40°C) standard. Meets UL 924, NFPA 101 (current Life Safety Code), NEC and OSHA illumination standards, NEMA Premium certified.

WARRANTY — Three-year limited warranty (five-year for nickel-cadmium battery) including LED lamps. Note: Specifications subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

ORDERING INFORMATION — For shortest lead times, configure product using standard options (shown in bold). Example: LHQM 5 W 3 R

LHQM	Family	Face type	Housing color	Number of faces	Letter color	Options
LHQM	LED type two external lamp heads	S Stencil P Panel	(blank) Black W White	3 Single face with extra faceplate and color panel	R Red G Green	N None N Maintenance-free nickel-cadmium battery* HO High-output lead-calcium battery* HO R High-output lead-calcium battery, less lamp heads*

Accessories: Order as separate items.

EIA MR24 R0606	Compact MR24 remote head (6W, 6V)
EIA MR24 R0606	Compact MR24 twin remote head (12W total)
EIA MR24 R0606	Compact MR24 remote head (9W, 6V)
EIA MR H0606	NEMA 4E, sealed-humans remote fixture (9W, 6W halogen)
EIA W03	Wingguard (back mount only)
EIA US12	12" pendant-mount kit with white canopy*

- Notes:
- Only available in custom design. See spec sheet, Custom-Stamping.
 - Not available with any other options.
 - Not available with nickel-cadmium battery option.
 - See spec sheet EIA-305.
 - Only available with HO option.
 - Only available with HO R option.
 - See spec sheet EIA-MR24.
 - See spec sheet EIA-H06-06.
 - See spec sheet EIA-305-06.
 - To order black canopy, replace "N" with "B". To order 24" or 36" length, replace "12" with "24" or "36".

Category Number _____
Notes _____
Type _____



Specifications
Length: 21-1/4 (54.0)
Depth: 4-7/8 (12.4)
Height: 9-7/8 (25.1)
Weight: 7.36 (3.3 kg)

All dimensions are inches (inches) unless otherwise specified.

LHQM Quantum® Thermoplastic Exit/Unit Combo

SPECIFICATIONS

ELECTRICAL

Primary Circuit	Typical LED life ¹	Supply voltage	Max. amps	Max. watts
Red & Green LED	10 years	120	.23	3.3
		277	.23	3.3

BATTERY

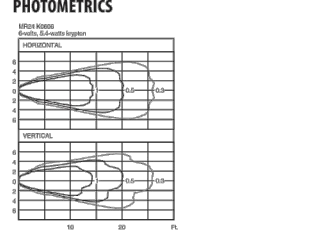
Lead-calcium	Voltage	Shelf life ²	Typical life ³	Maintenance ⁴	Optimum temperature ⁵
6	6	12 months	5-7 years	none	60°-80°F
Ni-cad (N)	6	3 years	7-9 years	none	32°-100°F

- Notes:
- Based on continuous operation.
 - At 77°F (25°C).
 - All life safety equipment, including emergency lighting for path of egress must be maintained, serviced, and tested in accordance with all National Fire Protection Association (NFPA) and local codes. Failure to perform the required maintenance, service, or testing could jeopardize the safety of occupants and will void all warranties.
 - Optimum ambient temperature range where unit will provide capacity for 90 minutes. Higher and lower temperatures affect life and capacity. Consult factory for detailed information.

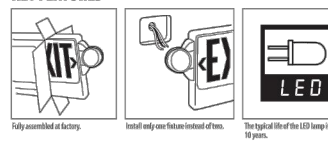
REMOTE OUTPUT CAPACITY

Standard	Combo ni-cad battery	Combo high-output battery (HO)	Combination heads (HO) & high-output
NA	NA	12W	24W

PHOTOMETRICS



KEY FEATURES



EMERGENCY: One Lithonia Way, Cary, GA 30012 Phone: 800.338.8898 Fax: 770.891.8141 www.lithonia.com ©1995-2012 Acuity Brands Lighting, Inc. All rights reserved. Rev. 01/10/12

MOUNTING

All dimensions are inches (inches). Shipping weight: 3.16 lbs. (1.4 kg).

ELECTRICAL



TOP



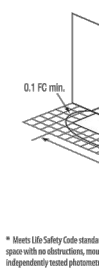
END



BACKPLATE



FIXTURE PERFORMANCE



* Meets Life Safety Code standard minimum illuminance of 0.1 FC and average illuminance of 1.0 FC. Assumes open space with no obstructions, mounting height: 7.5' ceiling height, Xc and reflectance: 80%/20. Analysis based on independently tested photometrics.



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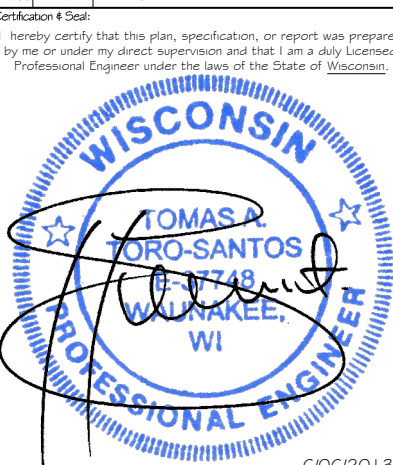


1120 Dallas Street, Sauk City, WI 53583
Phone: 608-643-4100 Fax: 608-643-7999
www.Ramaker.com

PROJECT NUMBER 2394 I

MARK	DATE	DESCRIPTION
I	6/6/2013	PROPOSED EQUIPMENT SHELTER

Certification & Seal:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Signature: _____ Date: 6/06/2013
ISSUE PHASE FINAL DATE ISSUED 12/20/2012

SITE ID #: CH54XC919
SITE NAME: F1-4812-ET-PP
ADDRESS: 5726 104TH STREET, HWY 165
PLEASANT PRAIRIE, WI 53158

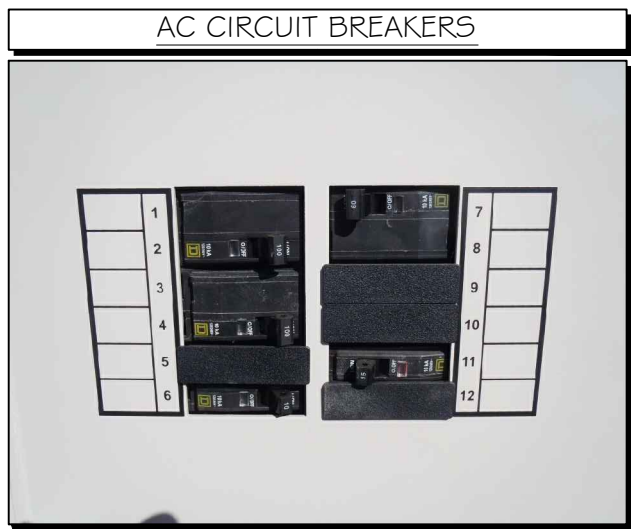
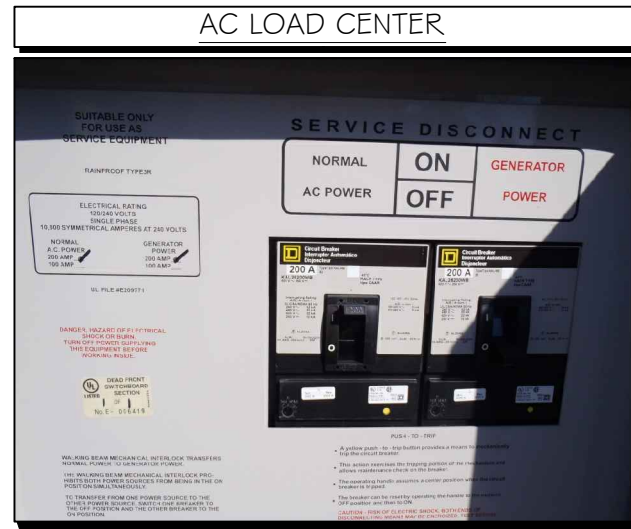
SITE TYPE: WATER TOWER

SHEET TITLE:
WILSON

SCALE:
SCALE: NONE

SHEET NUMBER E-5

MAIN: 200 AMP MAIN BREAKER VOLTAGE: 240/120 LOCATION: PPC CABINET		ELECTRICAL PANEL SCHEDULE						PHASE: 1 WIRE: 3 MOUNT: SURFACE	
CIRCUIT	LOAD DESCRIPTION	BREAKER		PHASE		BREAKER		LOAD DESCRIPTION	CIRCUIT
		AMPS	POLES	A	B	POLES	AMPS		
1	UNKNOWN	100	2			2	60	UNKNOWN	7
2	UNKNOWN	100	2					SPARE	8
3	UNKNOWN	100	2					SPARE	9
4	UNKNOWN							SPARE	10
5	SPARE					1	15	UNKNOWN	11
6	UNKNOWN	10	1			1	10	SPARE	12



EXISTING PANEL SCHEDULE ①
 SCALE: NT5

PLEASE NOTE

MAIN: 400 AMP MAIN BREAKER VOLTAGE: 240/120 LOCATION: WALL-MOUNTED IN SHELTER		ELECTRICAL PANEL SCHEDULE						PHASE: 1 WIRE: 3 MOUNT: SHELTER AT GRADE	
CIRCUIT	LOAD DESCRIPTION	BREAKER		PHASE		BREAKER		LOAD DESCRIPTION	CIRCUIT
		AMPS	POLES	A	B	POLES	AMPS		
1		60	2				100	UNKNOWN	2
3									4
5	HVAC #2	60	2				100	UNKNOWN	6
7									8
9	INTERIOR LIGHTS	15	1				60	UNKNOWN	10
11	EXTERIOR LIGHTS	15	1						12
13	DUPLEX OUTLETS (INTERIOR)	15	1					SPARE	14
15	DUPLEX OUTLETS (INTERIOR)	15	1					SPARE	16
17	GFI DUPLEX OUTLETS (EXTERIOR)	15	1					SPARE	18
19	QUAD OUTLET #1 (CEILING)	20	1					SPARE	20
21	QUAD OUTLET #2 (CEILING)	20	1					SPARE	22
23	QUAD OUTLET #3 (CEILING)	20	1					SPARE	24
25	QUAD OUTLET #4 (CEILING)	20	1					SPARE	26
27	QUAD OUTLET #5 (CEILING)	20	1					SPARE	28
29	QUAD OUTLET #6 (CEILING)	20	1					SPARE	30
								SPARE	32
								SPARE	34
								SPARE	36
								SPARE	38
								SPARE	40
								SPARE	42

NOTE:
 CONTRACTOR TO LABEL ALL BREAKERS AT PANEL.

PROPOSED PANEL SCHEDULE ②
 SCALE: NT5



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 www.Ramaker.com

PROJECT NUMBER 23941

1	6/6/2013	PROPOSED EQUIPMENT SHELTER
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MARK DATE DESCRIPTION
 Certification & Seal:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Signature: _____ Date: 6/06/2013

ISSUE PHASE	FINAL	DATE ISSUED	12/20/2012
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SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158
 SITE TYPE: WATER TOWER

SHEET TITLE:
PANEL SCHEDULE

SCALE:
 SCALE: NONE

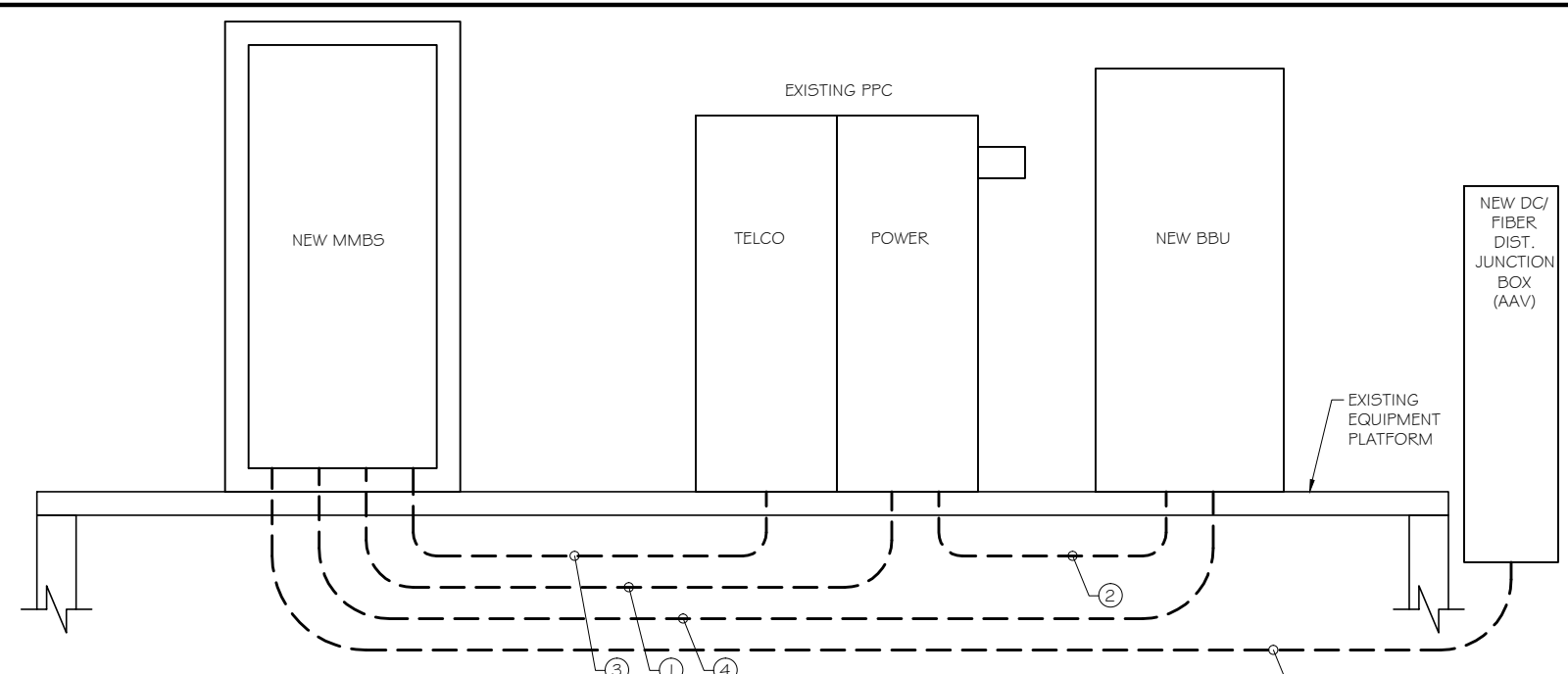
SHEET NUMBER
 E-6

GENERAL NOTES:

- OBTAIN PERMITS AND PAY FEES RELATED TO ELECTRICAL WORK PERFORMED ON THIS PROJECT. DELIVER COPIES OF ALL PERMITS TO SPRINT.
- SCHEDULE AND ATTEND INSPECTIONS RELATED TO ELECTRICAL WORK REQUIRED BY JURISDICTION HAVING AUTHORITY. CORRECT AND PAY FOR ANY WORK REQUIRED TO PASS ANY FAILED INSPECTION.
- REDLINED AS-BUILTS ARE TO BE DELIVERED TO SPRINT REPRESENTATIVE.
- PROVIDE TWO COPIES OF OPERATION AND MAINTENANCE MANUALS IN THREE-RING BINDER.
- FURNISH AND INSTALL THE COMPLETE ELECTRICAL SYSTEM, TELCO SYSTEM, AND THE GROUNDING SYSTEM AS SHOWN ON THESE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER AND SHALL BE SUBJECT TO APPROVAL BY SPRINT.
- CONDUCT A PRE-CONSTRUCTION SITE VISIT AND VERIFY EXISTING SITE CONDITIONS AFFECTING THIS WORK. REPORT ANY OMISSIONS OR DISCREPANCIES FOR CLARIFICATION PRIOR TO THE START OF CONSTRUCTION.
- PROTECT ADJACENT STRUCTURES AND FINISHES FROM DAMAGE. REPAIR TO ORIGINAL CONDITION ANY DAMAGED AREA.
- REMOVE DEBRIS ON A DAILY BASIS. DEBRIS NOT REMOVED IN A TIMELY FASHION WILL BE REMOVED BY OTHERS AND THE RESPONSIBLE SUBCONTRACTOR SHALL BE CHARGED ACCORDINGLY. REMOVAL OF DEBRIS SHALL BE COORDINATED WITH THE SITE OWNERS REPRESENTATIVE. DEBRIS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF LEGALLY. USE OF THE PROPERTY'S DUMPSTER IS PROHIBITED.
- CONTRACTOR TO CONFIRM AVAILABLE CAPACITY AT EXISTING UTILITY PEDESTAL AND ADVISE ENGINEER OF SERVICE SIZE AND FAULT CURRENT LEVEL.
- IF PEDESTAL DOES NOT HAVE ADEQUATE CAPACITY, CONTRACTOR TO SUBMIT COST QUOTATION TO UPGRADE. UPON APPROVAL OF SUBMITTED COST QUOTATION, THE CONTRACTOR SHALL PROVIDE NEW SERVICE AND/OR UPGRADE SERVICE. FEEDERS AND EQUIPMENT/ELECTRODE GROUNDING CONDUCTORS SIZE ACCORDINGLY.
- CONTRACTOR SHALL VERIFY SEPARATION DIMENSION BETWEEN POWER COMPANY ELECTRICAL CONDUITS AND LP GAS PIPES AS PER UTILITY COMPANY. LOCAL CODES, NEC, NFPA, AND GAS TANK MANUFACTURER'S SPECIFICATION.
- CONTRACTOR SHALL VERIFY THAT THE TOTAL NUMBER OF SERVICE ENTRANCE DISCONNECTS IN THE EXISTING UTILITY COMPANY PEDESTAL MUST NOT EXCEED SIX. IF THE NEW SERVICE ADDED EXCEEDS THIS VALUE, CONTRACTOR MUST COORDINATE WITH THE UTILITY COMPANY AND AUTHORITY HAVING JURISDICTION. THE RUNNING OF AN ADDITIONAL EXCLUSIVE AND DEDICATED SERVICE LATERAL SET FOR THE NEW LOAD ADDED TO THE COMPOUND AS PER NEC ARTICLE 230-2(B).
- THE EQUIPMENT/PROTECTIONS MUST BE RATED FOR STANDARD AIC RATE HIGHER THAN INCOMING EQUIPMENT AND/OR UTILITY COMPANY AIC RATE.

ELECTRICAL NOTES:

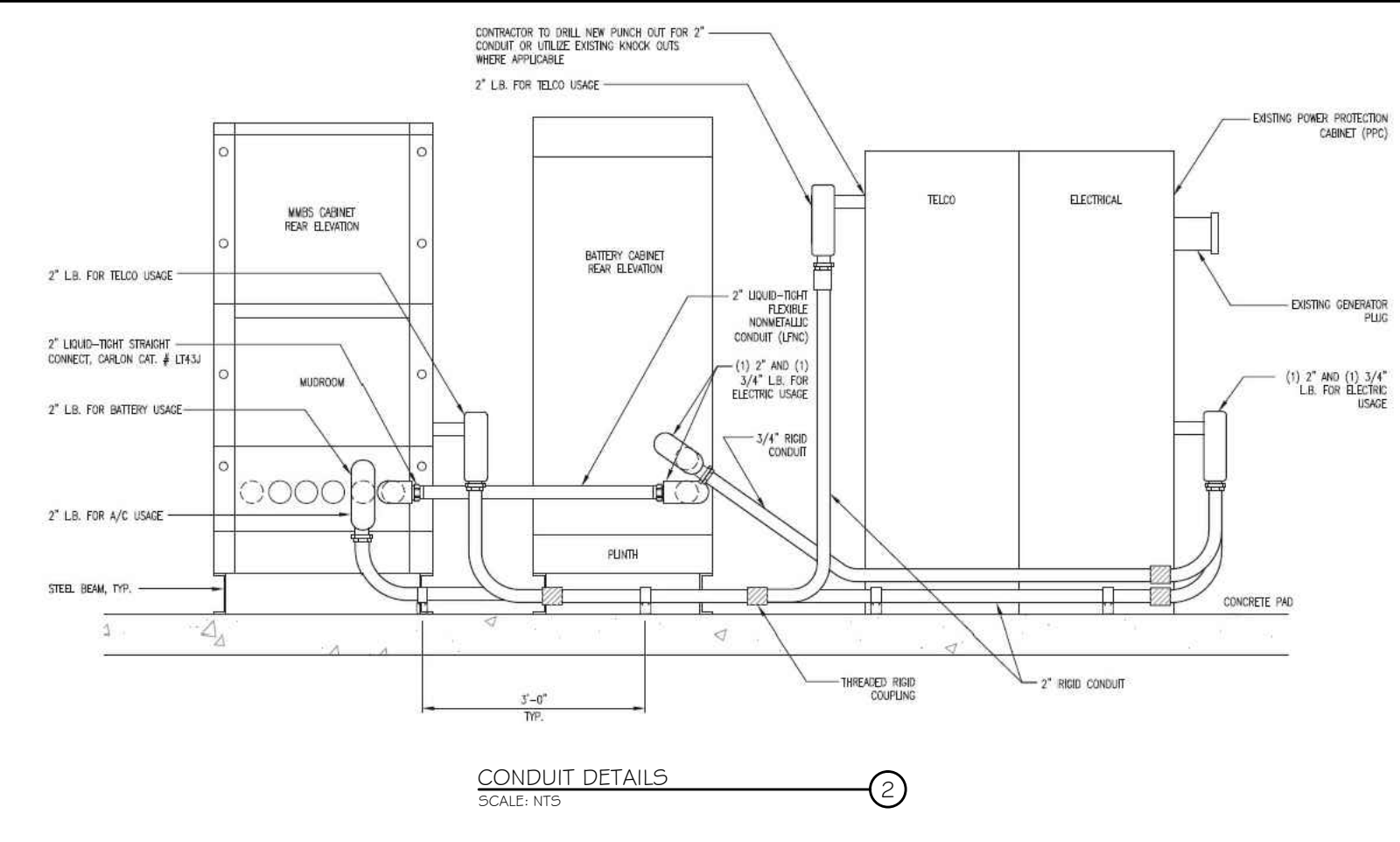
- REFERENCE SPRINT STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES FOR GENERAL ELECTRICAL REQUIREMENTS.
- WIRING SHALL BE AWG STRANDED COPPER WITH THHN OR EQUIVALENT INSULATION. #12 MINIMUM INSTALLED IN " MINIMUM CONDUIT. SIGNAL WIRING SHALL BE INSULATED #22 AWG. NO BX OR ROMEX CABLE IS PERMITTED. CONDUITS SHALL BE SURFACE MOUNTED.
- WIRING DEVICES AND EQUIPMENT SHALL BE UL LISTED SPECIFICATIONS GRADE.
- MATERIALS SHALL BE NEW AND CONFORM TO THE APPLICABLE STANDARDS ESTABLISHED FOR EACH ITEM BY THE ORGANIZATIONS LISTED BELOW.
 - AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) - UNDERWRITER'S LABORATORY (UL) - NATIONAL ELECTRICAL MANUFACTURING ASSOCIATION (NEMA) - AMERICAN STANDARDS ASSOCIATION (ASA) - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- INSTALLATION OF MATERIALS SHALL COMPLY WITH REGULATIONS OF:
 - THE NATIONAL ELECTRIC CODE (NFPA 70) - THE NATIONAL ELECTRICAL SAFETY CODE (ANSI C-2) - THE LIFE SAFETY CODE (NFPA 101) - LOCAL BUILDING CODES
- THE ENTIRE SYSTEM SHALL BE SOLIDLY GROUNDING USING LOCKOUTS AND BONDING NUTS ON CONDUITS AND PROPERLY BONDED GROUND CONDUCTOR. RECEPTACLES AND EQUIPMENT BRANCH CIRCUITS SHALL BE GROUNDING WITH A FULL-SIZED EQUIPMENT GROUNDING CONDUCTOR RUN IN THE CIRCUITS CONDUIT.
- OUTLET AND JUNCTION BOXES SHALL BE ZINC-COATED OR CADMIUM PLATED STEEL NOT LESS THAN 4" SQUARE AND SUITABLE FOR THE TYPE SERVICE AND OUTLET. OUTLET AND JUNCTION BOXES SHALL BE SURFACE MOUNTED AND LABELED WITH BRANCH CIRCUIT BREAKER NUMBER.
- LABEL ALL EQUIPMENT SERVED FROM SPRINT PANEL BOARD WITH PHENOLIC LABELS SIZED IN RELATION TO USAGE.
- INDOOR CONDUCTORS SHALL BE INSTALLED IN EMT UNLESS NOTED OTHERWISE. OUTDOOR CONDUCTORS SHALL BE INSTALLED IN RIGID GALVANIZED STEEL UNLESS NOTED OTHERWISE. WHERE EMT IS USED, IT SHALL BE WITH ONLY LISTED COMPRESSION FITTINGS. NO SET SCREW FITTINGS SHALL BE ALLOWED.
- CONTRACTOR TO PROVIDE AND INSTALL ENGRAVED LABEL ON THE SPRINT METER SOCKET ENCLOSURE.
- CONTRACTOR IS TO OBTAIN ALL PERMITS, PAY PERMIT FEES, AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS. THE CONTRACTOR IS TO OBTAIN LOCAL POWER AND TELEPHONE COMPANY APPROVAL & COORDINATE WITH UTILITY COMPANIES SERVICE ENTRANCE REQUIREMENTS.



KEY NOTES:

- CONTRACTOR TO INSTALL PROPOSED 100A, 2 POLE BREAKER IN EXISTING PPC. VERIFY EXISTING CONDUCTORS ARE (3) #3 AWG OR LARGER. IF NOT, CONTRACTOR TO REPLACE UNDERSIZED ITEM(S). CONTRACTOR ALSO TO PROVIDE (1) 2" CONDUIT FROM EXISTING PPC TO PROPOSED MMBS.
- CONTRACTOR TO INSTALL PROPOSED 10A, 2 POLE BREAKER IN EXISTING PPC. VERIFY EXISTING CONDUCTORS ARE (3) #14 AWG OR LARGER. IF NOT, CONTRACTOR TO REPLACE UNDERSIZED ITEM(S). CONTRACTOR ALSO TO PROVIDE (1) 3/4" CONDUIT FROM EXISTING PPC TO PROPOSED BBU.
- CONTRACTOR TO PROVIDE (1) 2" EMPTY CONDUIT WITH HEAVY DUTY PULLSTRING FROM EXISTING TELCO TO PROPOSED MMBS.
- CONTRACTOR TO PROVIDE (1) 2" SEAL-TIGHT CONDUIT WITH (2) #3 DLO.
- (1) PROPOSED 2" PVC CONDUIT (FIBER) AND (1) PROPOSED 1" PVC CONDUIT (POWER). GALVANIZED STEEL OR LIQUID-TIGHT FLEXIBLE CONDUITS ACCEPTABLE AT CM'S DISCRETION. LIQUID-TIGHT CONDUIT LENGTHS NOT TO EXCEED 6'-0".

SINGLE LINE DIAGRAM
 SCALE: NTS



Sprint

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RAMAKER & ASSOCIATES, INC.

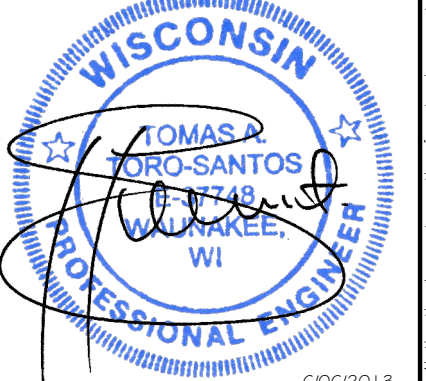
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PROJECT NUMBER	23941
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1	6/6/2013	PROPOSED EQUIPMENT SHELTER
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MARK	DATE	DESCRIPTION
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Certification & Seal:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Signature:	Date:
<i>Tomas A. Toro-Santos</i>	6/06/2013

ISSUE PHASE	FINAL	DATE ISSUED	12/20/2012
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SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165 PLEASANT PRAIRIE, WI 53158
 SITE TYPE: WATER TOWER

SHEET TITLE:
 UTILITY DETAILS & NOTES

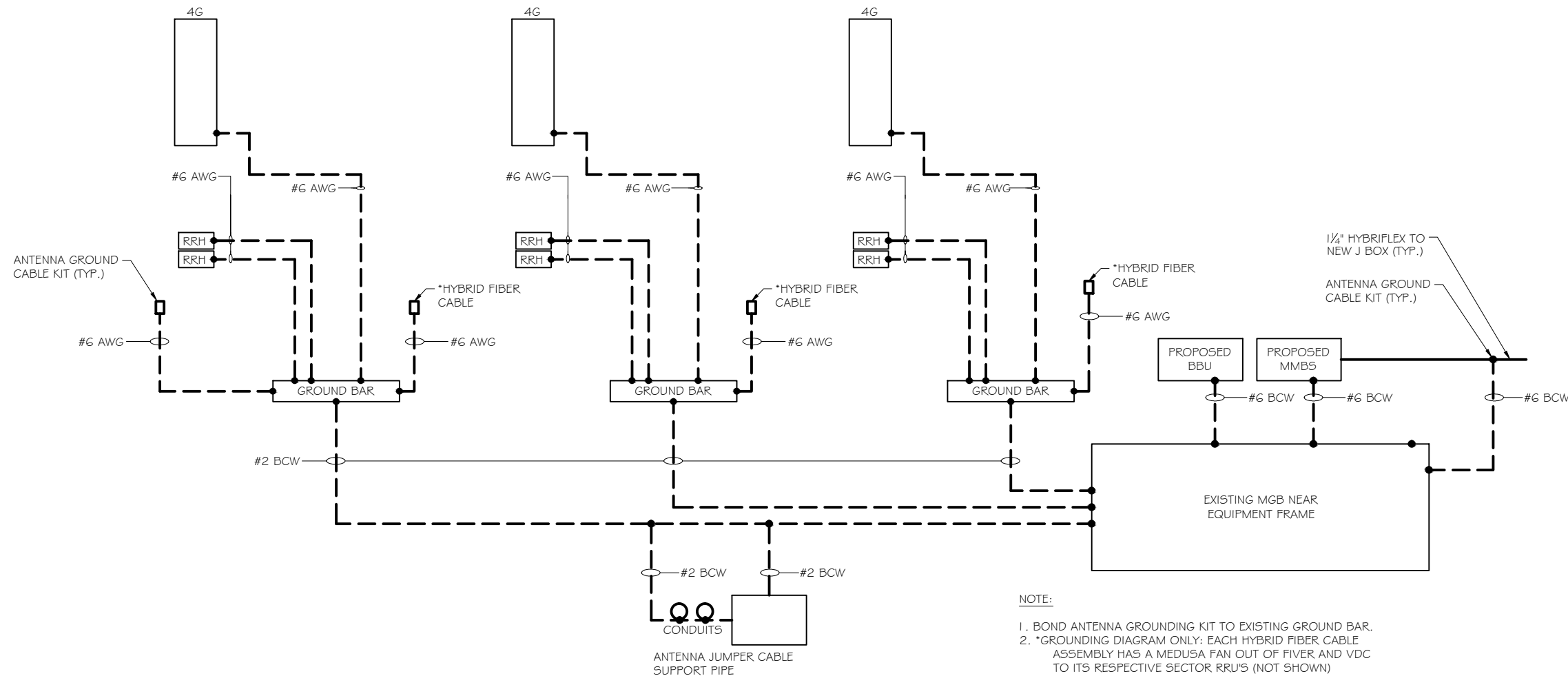
SCALE:
 SCALE: NONE

SHEET NUMBER
 E-7

GROUNDING SPECIFICATIONS:

1. REFERENCE SPRINT STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES AND SPRINT EXTERIOR GROUNDING SYSTEM DESIGN (REV 06/29/05) FOR GENERAL GROUNDING REQUIREMENTS.
2. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE. ALL GROUNDING DEVICES SHALL BE U.L. APPROVED OR LISTED FOR THEIR INTENDED USE.
3. GROUND WIRES SHALL BE TINNED #2 AWG BARE SOLID COPPER UNLESS NOTED OTHERWISE.
4. GROUNDING CONNECTIONS SHALL BE EXOTHERMIC (CADWELD) NOTED OTHERWISE. CLEAN SURFACES TO SHINE METAL. WHERE GROUND WIRES ARE CADWELDED TO GALVANIZED SURFACES, SPRAY CADWELD WITH GALVANIZING PAINT.
5. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. BEND GROUNDING LEADS WITH A MINIMUM 8" RADIUS.
6. PRIOR TO INSTALLING LUGS ON GROUND WIRES, APPLY THOMAS & BETTS KOPR-SHIELD (TM OF JET LUBE, INC.). PRIOR TO BOLTING GROUND WIRE LUGS TO GROUND BARS, APPLY KOPR-SHIELD OR EQUAL.
7. WHERE BARE COPPER GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO GROUND RING, INSTALL WIRE IN 3/4" PVC SLEEVE, FROM 1'-0" MIN. ABOVE GRADE AND SEAL TOP WITH SILICONE MATERIAL.
8. PREPARE ALL BONDING SURFACES FOR GROUNDING CONNECTIONS BY REMOVING ALL PAINT AND CORROSION DOWN TO SHINY METAL. FOLLOWING CONNECTION, APPLY APPROPRIATE ANTI-OXIDIZATION PAINT.
9. GROUNDING WIRE CONNECTIONS SHALL BE 3-CRIMP C-TAP COMPRESSION TYPE. SPLIT BOLTS ARE NOT ACCEPTABLE.
10. GROUND RODS SHALL BE COPPER CLAD STEEL 3/8" x 10' SPACE NOT LESS THAN 10' O.C.
11. CONNECTORS SHALL BE CRIMPED USING HYDRAULIC CRIMPING TOOLS.
12. SURFACE CONNECTIONS SHALL BE MADE TO BARE METAL. PAINTED SURFACES SHALL BE FILED TO ENSURE PROPER CONTACT. APPLY NON-OXIDIZING AGENT TO CONNECTIONS.
13. COPPER BUSES SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.
14. GROUNDING CONDUCTORS SHALL BE RUN THROUGH PVC SLEEVE WHERE ROUTED THROUGH WALLS, FLOORS, AND CEILINGS. ENDS OF CONDUIT SHALL BE GROUNDING. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.
15. HARDWARE (I.E. NUTS, BOLTS, WASHERS, ETC.) TO BE STAINLESS STEEL.
16. EXOTHERMIC WELDS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

17. THE ENTIRE SYSTEM SHALL BE SOLIDLY GROUNDING USING LOCKNUTS AND BONDING NUTS ON CONDUITS AND PROPERLY BONDED GROUND CONDUCTORS, RECEPTACLES AND EQUIPMENT BRANCH CIRCUITS SHALL BE GROUNDING WITH A FULL SIZED EQUIPMENT GROUNDING CONDUCTOR RUN IN THE CIRCUIT'S CONDUIT.
18. INSTALL GROUND BUSHINGS ON ALL METALLIC CONDUITS AND BOND TO THE EQUIPMENT GROUND BUS IN THE PANEL BOARD.
19. GROUND BARS (SECTOR, COLLECTOR, MASTER) SHALL BE MIN. BARE 1/4" x 4" COPPER AND LARGE ENOUGH TO ACCOMMODATE THE REQUIRED NUMBER OF GROUND CONNECTIONS. THE HARDWARE SECURING THE MASTER GROUND BAR (MGB) SHALL ELECTRICALLY INSULATE THE MGB FROM ANY STRUCTURE TO WHICH IT IS FASTENED.
20. APPLY THOMAS & BETTS KOPR-SHIELD OR APPROVED EQUIVALENT PRIOR TO MAKING MECHANICAL CONNECTIONS. CONNECTIONS SHALL BE MADE WITH STAINLESS STEEL BOLTS, NUTS AND LOCK WASHERS 3/8" DIAMETER, MIN. WHERE GALVANIZING IS REMOVED FROM METAL IT SHALL BE PAINTED OR TOUCHED UP WITH 'GALVONOX' OR EQUAL.
21. ALL TERMINATIONS AT EQUIPMENT ENCLOSURES, PANELS, FRAMES OF EQUIPMENT AND WHERE EXPOSED FOR GROUNDING CONDUCTOR TERMINATION SHALL BE PERFORMED UTILIZING TWO HOLE BOLTED TONGUE COMPRESSION TYPE WITH STAINLESS STEEL SELF-TAPPING SCREWS.
22. ALL CLAMPS AND SUPPORTS USED TO SUPPORT THE GROUNDING SYSTEM CONDUCTOR AND PVC CONDUITS SHALL BE PVC TYPE (NON-CONDUCTIVE). DO NOT USE METAL BRACKETS OR SUPPORTS WHICH WOULD FORM A COMPLETE RING AROUND ANY GROUNDING CONDUCTOR.
23. ALL BOLTS, WASHERS, AND NUTS USED ON GROUNDING CONNECTIONS SHALL BE STAINLESS STEEL.
24. THE CONTRACTOR SHALL ENGAGE AN INDEPENDENT ELECTRICAL TESTING FIRM TO TEST AND VERIFY THAT RESISTANCE TO EARTH DOES NOT EXCEED 5.0 OHMS. PROVIDE A COPY OF TESTING REPORT, INCLUDING THE METHOD AND INSTRUMENTS USED TO VERIFY RESISTANCE TO SPRINT REPRESENTATIVE.
25. COAX CABLE SHALL BE GROUNDING AT ANTENNA LEVEL WITHIN 5' OF ANTENNA, COAX WILL ADDITIONALLY BE GROUNDING AT THE BASE OF THE TOWER 18' BEFORE THE CABLE REACHES A HORIZONTAL PLANE. IF EQUIPMENT CABINET IS MORE THAN 15' FROM THE TOWER AN ADDITIONAL GROUND KIT WILL BE ADDED 24' BEFORE CABLE ENTERS CABINET.
26. ALL COAX GROUND KITS WILL BE ANDREW 'COMPACT SURE GROUND' OR APPROVED EQUIVALENT.
27. VERIFY THE GROUNDING CONTINUITY BETWEEN THE TOWER BASE AND THE NEW SPRINT CABINET GROUND BAR. CONTRACTOR SHALL ENSURE THAT ALL METALLIC OBJECTS WITHIN 6' FROM CABINET HAVE GROUNDING CONTINUITY. THE CONTRACTOR SHALL CORRECT ANY DEFECTS BY ADDING GROUNDING CONDUCTOR TO ENSURE CONTINUITY.
28. GROUNDING CONDUCTORS SHALL BE COPPER ONLY. EITHER SOLID OR STRANDED CONDUCTORS ARE PERMITTED. ALL EXTERNAL BURIED CONDUCTORS MUST BE BARE. EQUIPMENT GROUND LEADS IN CABLE TRAYS MUST BE GREEN INSULATED.
29. CONTRACTOR TO PROVIDE GROUND WIRES, BARS, AND CONNECTIONS AS SHOWN ON GROUNDING RISER DIAGRAM.



GROUNDING SCHEMATIC DETAIL
 SCALE: NTS



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PROJECT NUMBER 23941

MARK	DATE	DESCRIPTION
1	6/6/2013	PROPOSED EQUIPMENT SHELTER

Certification & Seal:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Signature: *Tomas A. Toro-Santos*
 Date: 6/06/2013

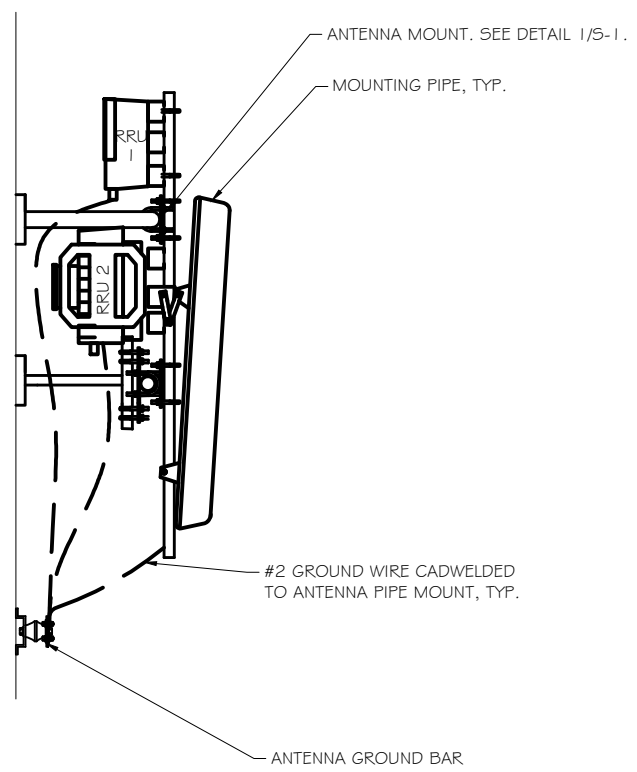
ISSUE PHASE	FINAL	DATE ISSUED	12/20/2012
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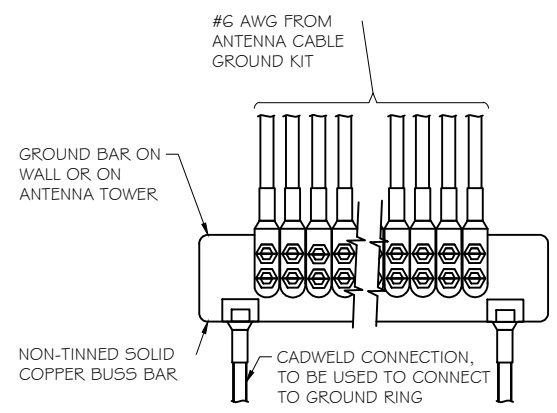
SHEET TITLE:
GROUNDING DETAIL & NOTES

SCALE:
 SCALE: NONE

SHEET NUMBER
 E-8

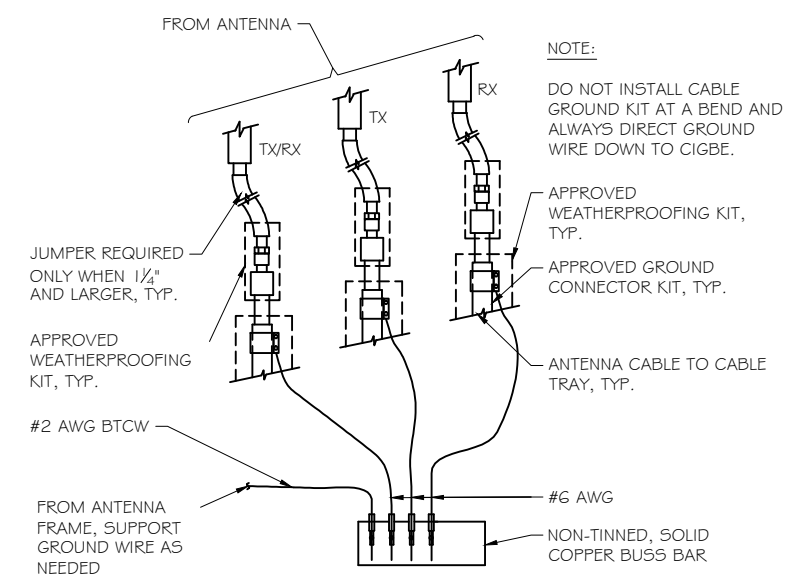


ANTENNA GROUNDING DETAIL 1
 SCALE: NTS

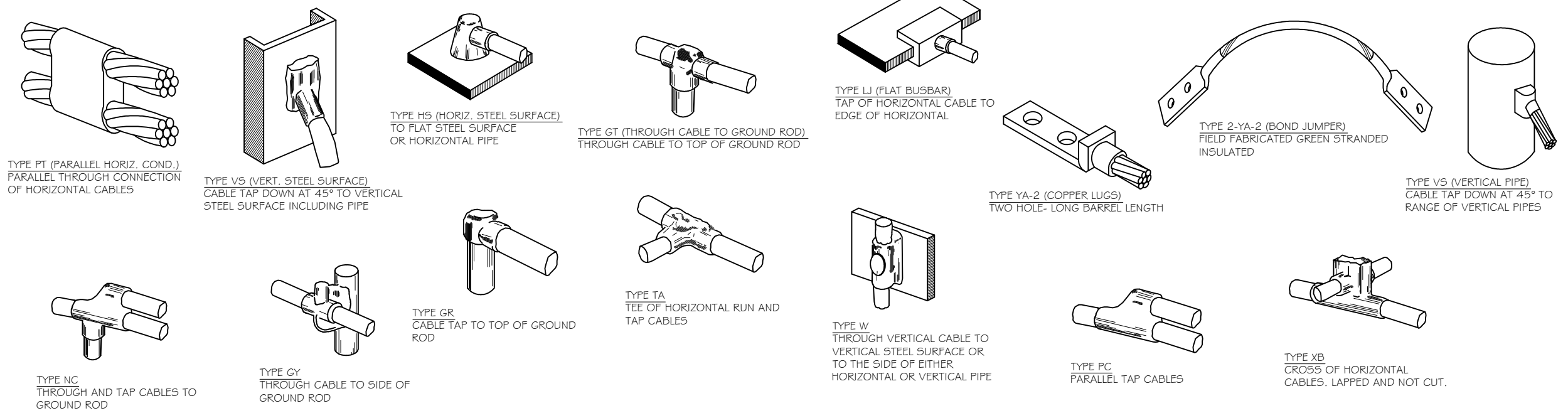


NOTE:
 1. CONTRACTOR TO UTILIZE ANTIOXIDANT ON ALL LUG CONNECTIONS
 2. USE HARGER GB I 14420M GROUND BAR OR EQUIVALENT.

GROUND LEADS TO GROUND BAR 2
 SCALE: NTS



COAX GROUND WIRES TO GROUND BAR 3
 SCALE: NTS



TYPICAL CADWELD TYPES 4
 SCALE: NTS



6391 SPRINT PARKWAY
 OVERLAND PARK, KS 66251

NEXIUS
 6737 WASHINGTON STREET
 SUITE 2265
 WEST ALLIS, WI 53214
 OFFICE: (414) 941-3159

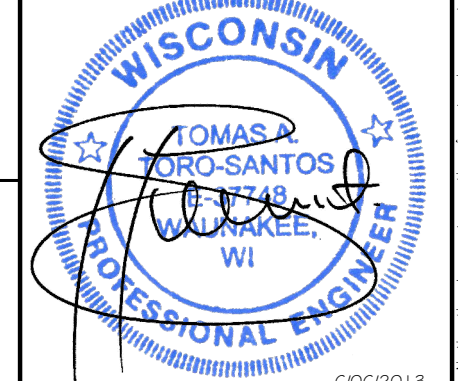


1120 Dallas Street, Sauk City, WI 53583
 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com

PROJECT NUMBER 23941

1	6/6/2013	PROPOSED EQUIPMENT SHELTER
---	----------	----------------------------

MARK DATE DESCRIPTION
 Certification & Seal:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Signature: *Tomas A. Toro-Santos* Date: 6/06/2013

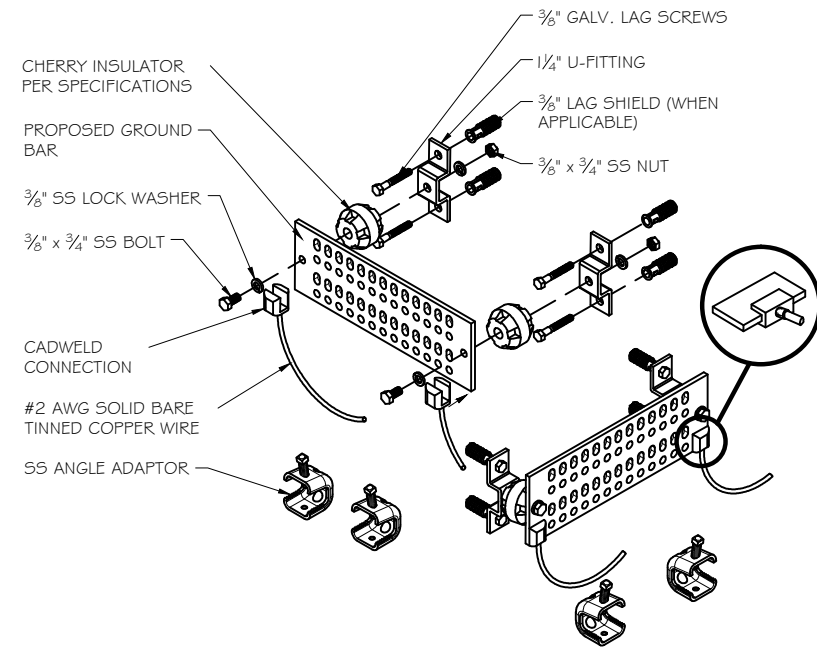
ISSUE PHASE	FINAL	DATE ISSUED	12/20/2012
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SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165 PLEASANT PRAIRIE, WI 53158
 SITE TYPE: WATER TOWER

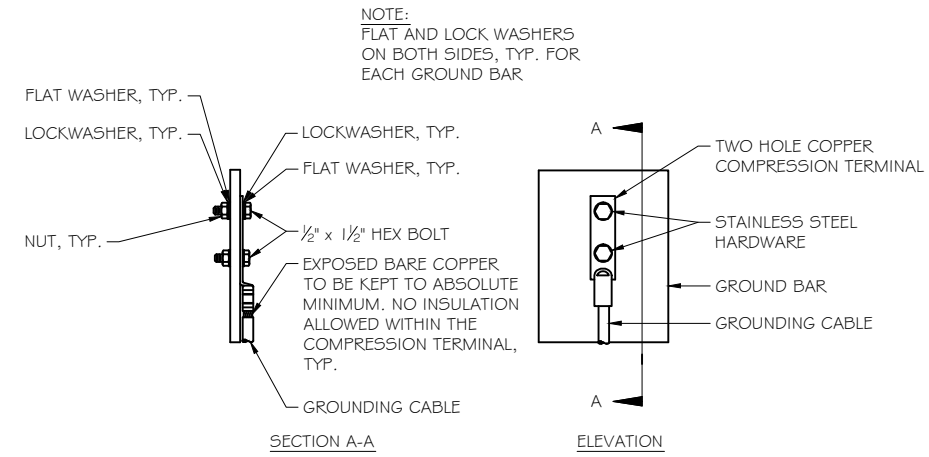
SHEET TITLE:
GROUNDING DETAILS

SCALE:
 SCALE: NONE

SHEET NUMBER
 E-9

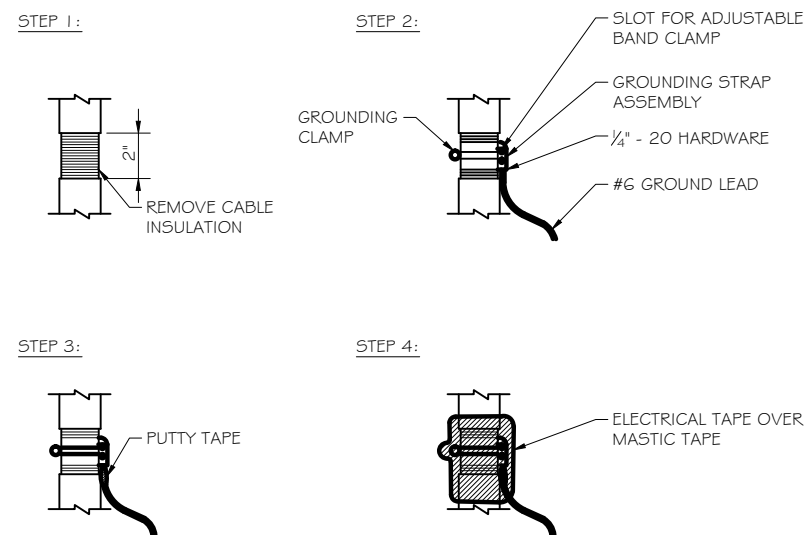


GROUND BAR DETAIL ①
 SCALE: NTS

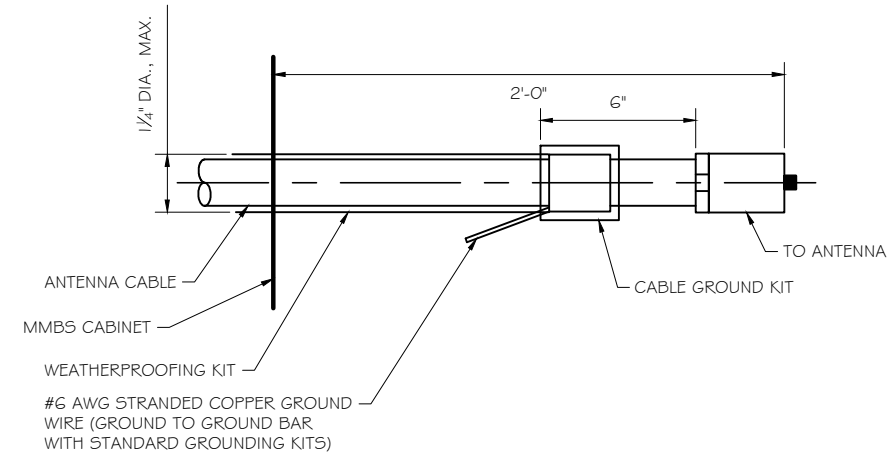


- NOTE:**
1. DOUBLING UP OR "STACKING" OF CONNECTIONS IS NOT PERMITTED.
 2. OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS.
 3. COAT WIRE END WITH ANTI-OXIDATION COMPOUND PRIOR TO INSERTION INTO LUG BARREL AND CRIMPING.
 4. APPLY ANTI-OXIDATION COMPOUND BETWEEN ALL LUGS AND BUSS BARS PRIOR TO MATING AND BOLTING.

GENERAL LUG DETAIL ②
 SCALE: NTS



TYP. COAX CABLE WEATHERPROOFING ③
 SCALE: NTS



GROUND KIT DETAIL ④
 SCALE: NTS



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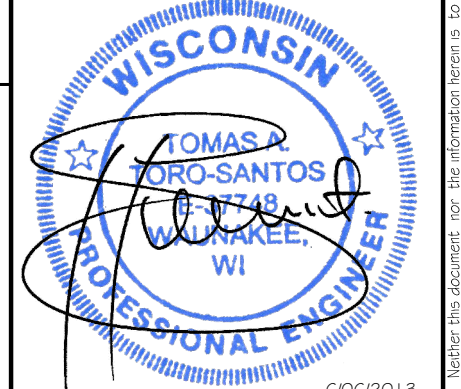
1120 Dallas Street, Sauk City, WI 53583
 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com

PROJECT NUMBER 23941

1 6/6/2013 PROPOSED EQUIPMENT SHELTER

MARK DATE DESCRIPTION

Certification & Seal:
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



ISSUE PHASE FINAL DATE ISSUED 12/20/2012

SITE ID #: CH54XC919
 SITE NAME: F1-4812-ET-PP
 WATER TOWER
 ADDRESS: 5726 104TH STREET, HWY 165
 PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE:
GROUNDING DETAILS

SCALE:
 SCALE: NONE

SHEET NUMBER E-10

1 - GENERAL PROVISIONS

1.1 CONTRACT OVERVIEW

- The intention of the documents is to show the complete installation and to include all labor and materials reasonably necessary, whether or not specifically indicated, for the proper execution and completion of the work as stipulated in the contract. The intent of this document is not to designate the means and methods of procedure of the work. The contractor shall supervise and coordinate all work, using his professional knowledge and skills. He is solely responsible for all construction means, methods, techniques, procedures, sequencing and coordinating all portions of the work under the contract.
- All work shall be performed in accordance with the latest edition of the following codes, standards and supplements:
 - IBC - International Building Code 2009 and all subsequent supplements
 - AISC - American Institute of Steel Construction specifications
 - IEEE - Institute of Electrical and Electronic Engineers
 - NEC - National Electrical Code
 - NEMA - National Electrical Manufacturers Association
 - UL - Underwriters Laboratories
 - NSPC - National Standard Plumbing Code
 - IMC - International Mechanical Code
 - NFPA - National Fire Protection Association
 - OSHA - Occupational Safety and Health Administration
 - ANSI/TIA - Telecommunications Industry Association - 222-G Standard
 - All governing state, county and local codes and ordinances

The most stringent code will apply in the case of discrepancies or differences in the code requirements.

- The engineering drawings show principal areas where work must be accomplished under this contract. Incidental work may also be necessary in areas not shown on the engineering drawings due to changes affecting existing electrical or other systems. Such incidental work is also a part of this contract. Inspect those areas and ascertain what is needed to do that work in accordance with the contract requirements at no additional cost to the owner.
- Do not scale drawings. All dimensions take precedence over scale.
- Minor deviations from the design layout are anticipated and shall be considered as part of the work, however, no change that alters the character intent of the design will be made or permitted by the owner without a change order.
- General civil, structural, electrical and antenna drawings are interrelated. In performance of the work, each contractor must refer to all drawings. All coordination shall be the responsibility of the general contractor.
- The general notes contained herein are part of the plans and specifications, and are to be complied with in all respects. The most restrictive notes specified are to take precedence. Certain sections of the general notes may not apply to every site. The contractor is to comply with all applicable general notes in all respects.
- All general notes and standard details are the minimum requirement to be used in conditions which are not specifically shown otherwise.
- Representation of True North other than those found on the plot of the survey drawings shall not be used to identify or establish the bearing of the True North at the site. The contractor shall rely solely on the plot of the survey drawing and any marking at the site for establishment of the True North, and shall notify the engineer prior to proceeding with the work if any discrepancy is found between the various elements of the working drawings and the True North orientation as depicted on the civil survey. The contractor shall assume sole liability for any failure to notify the engineer.
- The contractor shall use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts, and who are completely familiar with the specified requirements and methods needed for proper performance of the work.
- The contractor will be required to assume sole and complete responsibility for job site conditions during the course of the construction project, including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours. The contractor further agrees to indemnify and hold the design engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project.
- The contractor shall be responsible for complying with all safety precautions and regulations such as OSHA compliance during the progress of the work. The engineer will not advise nor provide direction as to safety precautions and programs.
- The contractor shall assume complete responsibility of the security of the site until completion of the construction.
- It is the contractor's responsibility to examine all plan sheets and specifications and coordinate his work with the work of all other contractors to ensure that work progression is not interrupted.
- The contractor is instructed to cooperate with any and all other contractors performing work on this job site during the performance of this contract to avoid delays in the contract schedule or other work performed in the vicinity of the construction area.
- The contractor shall submit a construction schedule to the property owner well in advance of the starting date of the work. The owner shall also be notified of a change in the construction schedule.
- The contractor shall comply with all required permits.
- Each contractor is responsible for application and payment of contractor licenses, bonds and insurances. Documentation shall be provided to the owner prior to the work.
- Nexus is to provide the owner with a full set of record drawings with actual dimensions, routing and circuits upon completion of construction.
- The contractor shall be responsible for all temporary bracing, shoring, ties,

- form work and the protection of all work during construction to avoid damage, collapse, distortion, misalignment, and alteration.
- The contractor is responsible to provide temporary power, water and toilet and facilities as required by the property owner or governing agency.
 - The contractor shall monitor all existing structures during construction.
 - The contractor shall coordinate the final dimensions of any type of beam layout with the footprint of the new equipment before ordering any materials.
 - All materials and equipment shall be new and in safe conditions prior to installations, and shall be of the best grade and of the same manufacturer throughout for each class or group of equipment.
 - All materials must be stored in a level and dry location and in a manner that will not obstruct the flow of other work related or not to this contract. Any equipment or material storage must meet all recommendations of the manufacturer. The contractor shall inspect thoroughly all materials and equipment prior to final installation. Damaged equipment or materials shall not be installed.
 - All materials shall be installed per the manufacturers' instructions.
 - All equipment shall be installed level and plumb.

1.2 EXISTING CONDITIONS AND STRUCTURES

- Before beginning work at the site, the contractor shall inspect the existing compound or building and determine the extent of existing finishes, specialties, equipment and other items which must be removed and reinstalled in order to perform the work under this contract. The contractor must verify all dimensions, conditions and elevations before starting work. No extra charge or compensation shall be allowed due to differences between actual dimensions and dimensions indicated on the construction drawings. All discrepancies shall be called to the attention of the engineer and shall be resolved before proceeding with the work. All work shall be performed in a workmanlike manner in accordance with accepted construction practices.
- By submitting a bid for this work, the contractor acknowledges that he has thoroughly reviewed and understood the construction documents, visited the site and is familiar with the conditions encountered at the site.
- The contractor, if awarded the contract, will not be allowed any extra compensation by reason of any matter or thing which such the contractor might not have fully informed himself prior to bidding.
- No plea of ignorance of conditions that exist, or of difficulties that may be encountered or of any other relevant matter concerning the work to be performed will be accepted as a reason for any failure or omission on the part of the contractor to fulfill the requirements of the contract documents.
- It is understood by the owner that the contractor in submitting his bid, warrants that he has carefully examined the site of the project to acquaint himself with the surrounding properties, the means of approach to the site, the conditions of the actual job site, the facilities for delivering, stoning, placing, handling and the removal of materials and equipment and any and all difficulties that may be encountered during the execution of all the work in accord with the contract documents.
- The location of existing underground utilities have not been verified by the owner or its representative. The contractor is responsible for having all underground utilities located within the limits of construction and accepts full responsibility for any and all damages which might be caused by the contractor failure to locate all underground utilities before commencing work. Before you dig or drill, call the underground services alert number on sheet T-1 at the required time.
- Should any error or inconsistency appear in the drawings or specifications, the contractor before proceeding with the work must make mention of the same to the engineer and owner for proper adjustment and in no case proceed with the work in uncertainty or with insufficient drawings.
- Trade, product names or manufacturer's names or catalog numbers and indications of existing product types shown on the drawings are believed to be accurate. If they are discovered to be inaccurate, notify engineers immediately and do not proceed without instructions.
- Prior to starting construction, the contractor shall protect all areas from damages which may occur during construction. Any damages to new or existing surfaces, structures or equipment shall be immediately repaired or replaced to the satisfaction of the property owner. The contractor shall bear the cost of repairing or replacing any damaged areas.
- The contractor shall protect the structural integrity of existing structures when work is performed in the vicinity of existing structures.
- The contractor shall protect existing property line monumentation. Any monumentation disturbed or destroyed, as judged by the owner or owner's representative shall be replaced at the contractor's expense under the supervision of a licensed land surveyor.
- New construction added to existing construction shall be matched in form, texture, material and paint color except as noted in the plans.
- Where indicated on the plans, the contractor shall paint all new antenna shrouds and related mounting hardware to match the existing adjacent surfaces, the contractor shall not use a metal based paint for antennas. All surface contamination shall be removed prior to painting new surfaces.
- The plans show some known subsurface structures, above-ground structures and/or utilities believed to exist in the working area, exact location of which may vary from the locations indicated, in particular, the contractor is warned that the exact or even approximate location of such pipelines, subsurface structures and/or utilities in the area may be shown or may not be shown; and it shall be his responsibility to proceed with great care in executing any work.
- All existing active sewer, water, gas, electric and other utilities where encountered in the work shall be protected at all times, where required for the proper execution of the work, shall be relocated as directed by engineers. Extreme caution should be used by the contractor when excavating or pier drilling around or near utilities. The contractor shall provide safety training for the working crew.
- If an inactive electrical, telephone, sewer, water or any other utility are encountered and interfere with the execution of the work, the contractor is to remove the utility and cap, plug or otherwise terminate the utility at a point where it no longer conflicts with the work. The utility work shall be done in accordance with the utility companies recommendations and per local authority having jurisdiction.

- All utility work involving connections to existing systems shall be coordinated with the owner or owner's representative and the utility owner before each and every connection to existing systems is made.
- Maintain flow for all existing utilities.
- The contractor shall restore all public or private property damaged or removed to at least as good of condition as before disturbed as determined by the owner or owner's representative.
- Protect finished surfaces including jambs and heads of openings used as passageways through which equipment and materials will pass.
- Provide protection for equipment room surfaces prior to allowing equipment or materials to be moved over such surfaces.
- Maintain finished surfaces clean, unharmed and suitably protected until job site is accepted by the owner.
- In the event of damage to an existing structure, the contractor shall notify the owner or its representative immediately, and then promptly make all replacements and repairs to the satisfaction of the owner. The owner may elect to use a third party contractor to perform the repairs. All expenses associated with the repairs and replacements shall be paid by the general contractor selected for this contract.
- Additional time required to secure replacement and make repairs will not be considered by the owner to justify an extension in the contract time for completion.

1.3 ACCESS

- Use most direct route from public street as agreed to by compound or building owner. For access to an existing building interior, use loading dock as agreed to by building owner.
- Coordinate with site owner construction schedule & site access. Ensure that the owner of parent parcel is notified in writing of construction activities.
- A list of workers involved in this project may be required by the property owner or its representative.
- The contractor shall coordinate all special considerations of construction such as noisy operation, interruption of any mechanical and/or electrical services, material deliveries and storage, staging area, crane lifts with the owner prior to the start of work.
- Contractor shall coordinate with an owner representative, the temporary removal of fence, landscaping & any expected damage to access road or adjacent repair of property prior to commencing the work.
- The contractor shall coordinate work hours & staging areas with owner.
- Contractor to notify appropriate parties of construction start date well in advance of construction.

1.4 SITE MAINTENANCE

- Remove staining or reactive materials from new and existing surfaces immediately. Remove hazardous accumulations of debris promptly, at least daily. Confine dust producing operations during cutting, drilling, painting and finishing. There should be no over spraying paint in parking area. Vacuum immediately after completion.
- There shall not be any creation of noise outside normal business hours, unless otherwise agreed upon with the owner. Noise should be kept to a minimum throughout construction.
- Noise and existing building structure vibration generated by construction procedures, equipment, tool and operations are to be kept to a practicable minimum. Where use of high noise level equipment is unavoidable, and can be heard, confine to hours after 7 A.M. and before 6 P.M. Monday through Friday or as agreed to by building owner.
- The contractor is to provide portable fire extinguishers with a rating of not less than 2-A or 2 ABC within 75 feet of travel to all portions of the construction area.
- The contractor is responsible for maintaining a neat and orderly site, yard and grounds, remove and dispose legally off site all rubbish, waste materials litter and all foreign substances. Remove petrochemical spills, stains and other foreign deposits. Rake grounds to a smooth even-textured surface.
- At project completion, remove temporary services, construction equipment, tools and facilities, mockups, temporary structures, surplus materials, debris, and rubbish from building owners property. Put site in neat, orderly condition, ready for use. Leave roof areas, pipe spaces and other spaces clean and free from debris on a daily basis.
- The site and/or building security shall be maintained at all times during construction in order to prevent unauthorized persons from entering the premises. Existing and new equipment and materials remain the contractor's responsibility at all time during construction.
- The tenant's ingress and egress of the site and/or building shall be maintained throughout construction.
- The contractor shall take all measures necessary to maintain pollution control, comply with all governing regulation pertaining to environmental protection, and promptly remove all debris and accumulation of materials resulting from the work.

1.5 TEMPORARY FACILITIES

- The contractor shall consider that water, power and light may not be available at this site. Electrical cords and connections to be furnished by the contractors and must be disconnected and properly stored during non-working hours.
- The contractor is responsible to provide temporary power, water and toilet facilities as required by the property owner or governing agency.

2 - DEMOLITION AND EXISTING STRUCTURAL ALTERATION

2.1 DEMOLITION SPECIFICS

- General contractor is to demolish and remove from site (and dispose of appropriately) all items noted for demolition in the architectural, civil, electrical and/or structural drawings, including below grade foundation and structures. Contractor shall coordinate with the owner representative the disposal of equipment and materials.
- General contractor is to exercise utmost care during demolition and promptly inform the engineer of any deviation to the existing structure from what is shown in these plans prior to proceeding with the work.

- General contractor is solely responsible for the shoring, bracing, providing lateral support and for maintaining the integrity of the existing structure during all phases of the demolition and construction and shall provide, if required, signed & sealed shop drawings, by a registered professional engineer, for the shoring of all walls, beams, slabs, roof joists, or other elevated structural items, that are having the support below noted for demolition.
- Any damage due to demolition, or other construction activities, done to any existing surface to remain shall be repaired to match existing at no additional cost to the owner.

2.2 CUTTING & PATCHING

- Do not drill or cut existing floor joists, beams, columns or other structural elements unless specifically indicated. Drill slabs where approved. Core drill circular openings through concrete slab. Line drill for rectangular openings. Make openings of proper size for conduit, ducts, pipes and other items passing through openings. Make all new holes or openings be weather tight or fire safe as required by local building codes & ordinances.
- Prepare, submit and receive approval of sleeves and opening drawings before locating sleeves and openings in new construction and before drilling existing structure. Show each opening and sleeve in the entire project.
- Seal water tight and protect with fire proofing materials new sleeves and openings through roofs, floors and in vertical chases as required by code and industry standards. All floor and wall penetrations shall be sealed with fire retardant compound meeting UL CAJ5045.
- Use approved materials to fill/seal penetrations through fire rated assemblies.
- Where cutting of existing surfaces or removal of existing finishes is required to perform the work under this contract and a new finish is not indicated, fill resulting openings and patch the surface after doing the work and finish to match adjacent existing surfaces.
- All concrete and masonry penetrations shall be done using rotary action only (no hammering action).
- Core locations, if required, shall be chosen so as to avoid cutting any reinforcing bars. Firestop floor or wall penetrations with two-hour rated sealant to meet UL CAJ5045. Provide weatherproofing of any roof penetrations.
- Repair, patch, finish and/or refinish as applicable to match adjacent existing finishes those existing surfaces damaged or new proposed surfaces during performance of the work under this contract.
- Where conduits, ducts, pipes and similar items are shown to be installed in existing walls or partitions, neatly chase the walls or partitions. Install the items and patch the walls or partitions to make the installation not discernible in the finished work.
- Install new conduits and pipes in every case, and new duct where possible above existing ceiling. Remove existing ceiling as necessary. After installation of concealed work, reinstall removed ceiling and patch and refinish to match adjacent unremoved ceilings.

3 - ROOFTOP (IF APPLICABLE)

3.1 GENERAL

- General contractor is solely responsible for the shoring, bracing, providing lateral support and for maintaining the integrity of the existing structure and roofing membrane during all phases of the construction.
- Roof pitch pocket, if used, are to be filled, sealed and maintained with flexible material to be compatible with existing roofing material and able to accommodate lateral displacement of 1/4 inch maximum in each direction.
- If required, the general contractor shall use the building owner's approved roofing contractor to prevent voiding any existing roofing warranties. Any damage to the existing roofing membrane shall be repaired immediately to avoid moisture intrusion in the building shell.
- Avoid any penetration of existing roof slab, UNO.
- No staging of materials and equipment is permitted on the roof.
- The location of existing building roof, penthouse walls, penthouse slabs and new equipment shown in these drawings are not exact and are not based on surveyed information. All dimensions shall be field verified by field measurements prior to ordering any material for this project.
- Any damage due to construction activities, done to any existing roofing surface shall be repaired to match existing at no additional cost to the owner.
- The contractor shall verify the load generated from the equipment is directly transferred through bearing walls or columns to the foundation of the building. The engineer shall be notified if this criteria is not met.
- The contractor shall provide temporary fall protection measures in the vicinity of the work.
- The shelter and/or equipment shall be painted to match the existing building color if this is required by the building owner.
- Submit for approval a list of the procedures proposed to protect existing elevator from harm during use. Protect cab, entrances and adjacent surfaces from damage. Do not overload elevator.
- Construction personnel may use existing stairs and corridors for construction purposes. Protect stair and access ways and return to original condition at completion. Coordinate with building management for use of washroom facility.
- Provide proper temporary protection of high traffic areas.

4 - STANDARD CONSTRUCTION SPECIFICATIONS

- Contractor shall refer to the latest version of the "Sprint Standard Construction Specifications for Wireless Sites" for all other specifications.
- Latest version of the "Sprint Standard Construction Specifications for Wireless Sites" may be downloaded from <https://sprint.siterma.com/apollo/sprnt>.

LEGEND AND ABBREVIATIONS

BTS	BASE TRANSMISSION SYSTEM
GEN	GENERATOR
MMBS	MULTI-MODE BASE STATION
PPC	POWER PROTECTION CABINET
TYP	TYPICAL



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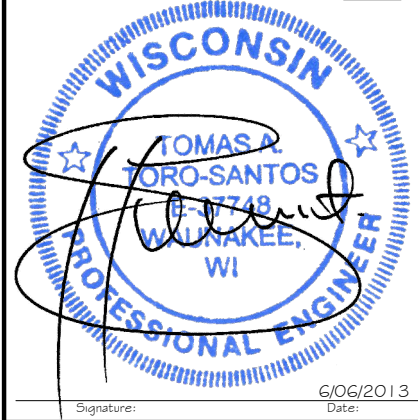


1120 Dallas Street, Sauk City, WI 53583
Phone: 608-643-4100 Fax: 608-643-7999
www.Ramaker.com

PROJECT NUMBER 23941

MARK	DATE	DESCRIPTION
I	6/6/2013	PROPOSED EQUIPMENT SHELTER

Certification & Seal:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



ISSUE PHASE FINAL DATE ISSUED 12/20/2012

SITE ID #: CH54XC919

SITE NAME: F1-4812-ET-PP
ADDRESS: 5726 104TH STREET, HWY 165
PLEASANT PRAIRIE, WI 53158

SITE TYPE: WATER TOWER

SHEET TITLE: SPECIFICATIONS

SCALE: NONE

SHEET NUMBER SP-1



COPY

DOCUMENT NUMBER
1255261

CONDITIONAL USE PERMIT
R E C O R D E D
At Kenosha County, Kenosha, WI
Louise I. Principe, Register of Deeds
on 2/12/2002 at 8:01AM
20006895 \$15.00

RECORDED
RUTB

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 01-17**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 10300A 57th Avenue.

Return to:
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Parcel Number:
92-4-122-224-0111-0

15

Legal Description:

Parcel 1 of CSM 1795 located in the Southeast ¼ of Section 22 Township 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made, and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated for SprintCom Inc., (d/b/a "Sprint PCS") to construct and operate a cellular telephone facility consisting of up to nine (9), 10 foot high antennas mounted to the top of the existing Village water tower on said property and an accompanying electronic equipment cabinets located at the base of the water tower within a fenced area.

The Village approved the Conditional Use Permit subject to the following conditions:

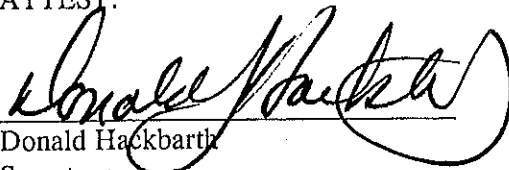
1. Compliance with the conditions of the Site and Operational Plans approved by the Plan Commission on November 12, 2001.
2. Compliance with the Lease Agreement executed between SprintCom, Inc and the Village as approved by the Village Board on November 19, 2001.



3. No other changes to the exterior site shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
4. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
5. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
6. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
7. Permits shall be obtained from the Village prior to commencing work and a Certificate of Compliance shall be issued by the Village prior to operation of this facility to ensure compliance with permit requirements.

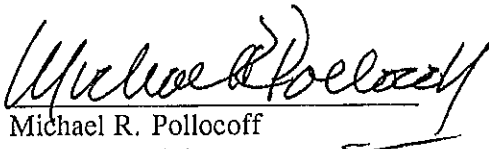
Granted by the action of the Village of Pleasant Prairie Plan Commission the 12th day of November 2001.

ATTEST:


 Donald Hackbarth
 Secretary


 Thomas W. Terwall
 Plan Commission Chairman

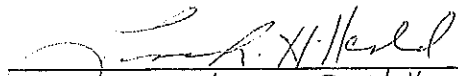
OWNER: Village of Pleasant Prairie


 Michael R. Pollocoff
 Village Administrator

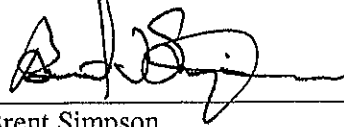
ACKNOWLEDGMENT
STATE OF WISCONSIN)

SS
KENOSHA COUNTY)

Personally came before me this 15 day of December, 2001, the above named to me known to be the person (**Michael R. Pollocoff**) who executed the foregoing instrument and acknowledge the same.


 Print Name: Laurie R. Hillstrand
 Notary Public, Kenosha County, WI.
 My Commission expires: 2-10-02.

TENANT: SprintCom Inc., (d/b/a "Sprint PCS")

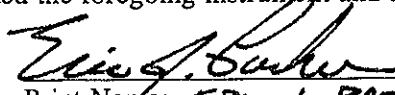


Brent Simpson
Site Development Manager

ACKNOWLEDGMENT
STATE OF ILLINOIS)
SS

COOK COUNTY)

Personally came before me this 10 day of DECEMBER 2001, the above named to me known to be the person (**Brent Simpson**) who executed the foregoing instrument and acknowledge the same.



Print Name: ERIC J. PARKER
Notary Public, COOK County, IL
My Commission expires: 6/22/03

THIS INSTRUMENT WAS DRAFTED BY:
Jean M. Werbie, Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

17 Sprint Antenna water tower

- C. Consider the request of Michael L. Kinstle, Vice President of Real Estate for Meijer Distribution, Inc owners of the property located at 7400 95th Street for **Site and Operational Plan** approval for an addition to the existing warehouse, addition to the existing Energy Center and truck wash, new access to 95th Street and new guard houses at the STH 31 and 95th Street entrances.

Recommendation: Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of July 22, 2013.

VILLAGE STAFF REPORT OF JULY 22, 2013

Consider the request of Michael L. Kinstle, Vice President of Real Estate for Meijer Distribution, Inc owners of the property located at 7400 95th Street for **Site and Operational Plan** approval for an addition to the existing warehouse, addition to the existing Energy Center and truck wash, new access to 95th Street and new guard houses at the STH 31 and 95th Street entrances.

The petitioner is requesting approval of the following additions and renovations to the existing Meijer Western Distribution Center. Specifically, the petitioner is requesting to construct a 5,091 square foot dock addition to the existing cooler/freezer warehouse and 9,876 square feet of accessory buildings. In addition, renovations include modification of the existing dry grocery warehouse to provide of cooler/freezer (364,450 sq. ft.), modifications to the existing cooler/freezer (167,000 sq. ft.), modifications to the existing energy center (4,700 sq. ft.) and modifications to the existing office (22,000 sq. ft.). In addition, the Meijer is requesting a new truck access to 95rh Street.

BACKGROUND INFORMATION: The site was previously developed as a wholesale grocery distribution center, supporting retail grocery stores in the southern Wisconsin and northern Illinois area by SuperValu. Packaged dry groceries, frozen food, meat dairy and produce was shipped to the facility from suppliers throughout the country and temporarily stored in non-refrigerated and refrigerated warehouse buildings until such time as they are selected and loaded onto trucks and shipped to retail grocery stores. The site was originally planned to be developed in phases with various types of building and pavement additions. The property was purchased in December of 2012 by Meijer Distribution, Inc. for the property to be used for their wholesale grocery Distribution Center. Operation and use of the facility, referred to as the Meijer Western Distribution Center, will not be significantly different from the previous owner's operations within the exception of increases in volume due to the proposed additions, installation of an Automated Storage Recovery System and future conversion of a portion of the freezer storage to refrigerated storage.

The following is a description of existing warehouse and accessory buildings on the property:

- One-story office space - 54,411 square feet;
- Dry grocery warehouse – 360,632 square feet;
- Refrigerated warehouse - 137,589 square feet;
- Tractor/trailer maintenance and service building (including truck wash bay) - 9,628 square feet;
- Guard house (at truck entrance) - 2,360 square feet;
- Energy center (includes ammonia refrigeration equipment) - 5,070 square feet; and
- Fueling station and above ground tank system (both canopy covered).

The property is zoned M-2, General Manufacturing District and there are no wetlands, shoreland areas or 100-year floodplain on the property.

On January 14, 2013 the Village Plan Commission conditionally approved Preliminary Site and Operational Plans for mass grading and early footings and foundations for the construction of a distribution building for Meijer Distribution, Inc. On April 3, 2013, permit #13-03-017 was issued and work commenced on the mass grading and footing and foundations.

On May 28, 2013, the Plan Commission approved Final Site and Operational Plans for the petitioner to construct a 245,792 square foot distribution center (High Bay Automated Storage and Retrieval System (ASRS) building, welfare areas & associated docks). On June 14, 2013 permit #13-05-150 was issued for the construction of the ASRS building and associated site improvements.

PROPOSED PROJECT: The petitioner is requesting approval of the following additions and renovations to the existing Meijer Western Distribution Center: construction of a 5,091 square foot dock addition to the existing cooler/freezer warehouse and 9,876 square feet of accessory buildings; modification of the existing dry grocery warehouse to provide of cooler/freezer (364,450 sq. ft.), modifications to the existing cooler/freezer (167,000 sq. ft.), modifications to the existing energy center (4,700 sq. ft.), modifications to the existing office (22,000 sq. ft.), and addition of a new truck access to 95th Street.

Hours of Operation: The facility will be in operation 24 hours per day/seven days per week, in varying degrees of activity. The office will operate daily in conjunction with the distribution business flow. The facility will not be open to the public.

Meijer trucks making deliveries to retail stores will depart throughout the day, seven days a week via a new south entrance to 95th Street. These loads will depart over the daily 24 hour period, with peaks being from 10:00 p.m. to 3:00 a.m. These trucks and third party trucks will return throughout the 24 hour daily period, seven days a week via the STH 31 (Green Bay Road) entrance.

Trucks will make deliveries to the site from outside suppliers beginning after midnight and arrayed throughout the 24 hour period. There will be two types of deliveries; "drop trailers" will primarily be drivers that are familiar with the facility who bring a load in, drop it in the trailer parking lot, pick up an empty trailer and depart; "live loads" will be drivers that mostly are not familiar with the facility and bring their loads in by appointment. Live loads will bring the load in, wait in the staging "bull pen" area for their appointment time, take their load directly to a designated dock door, wait for the load to be unloaded and leave with the empty trailer they brought. Roughly 20-25% of the inbound traffic will be live loads.

Anticipated Startup Date and Employee Count: The existing facility closed in May 2013. Operations are expected to re-start by March 31, 2014. Full-time employees are estimated at 522 including 3rd party labor and part-time employees are estimated at 42 including 3rd party labor. Each area will operate with two planned 10-12 hour shifts 6 days per week with seasonal requirements to 7 days.

1 st shift (6AM – 5PM)	warehouse approximately 152 team members * warehouse approximately 30 team members ** shift maintenance/security approximately 16 team members* unloaders (lumpers) approximately 36 team members* 3 rd party/fleet maintenance approximately 17 team members **
1 st shift (8AM – 5PM)	office operations – Monday thru Saturday approximately 10 team members*
2 nd shift (6PM – 5AM)	warehouse approximately 102 team members* warehouse approximately 30 team members** shift maintenance/security approximately 11 team members* unloaders (lumpers) approximately 24 team members* 3 rd party/fleet maintenance approximately 11 team members**
Truck Drivers/Switchers	approximately 125 team members rotating over the 24 hour period**

*site entry via 95th Street employee entrance

**site entry via Green Bay Road truck entrance

It is anticipated that the maximum number of employees on site at any time of day will be 316.

Site Access and Parking: The facility is being designed for incoming/outgoing trucks through the main truck access on STH 31 with Meijer outbound delivery trucks utilizing a future new access on 95th Street. Office workers will enter and leave the site from existing eastern entrance on 95th Street (all traffic leaving from this entrance will travel east to STH 31).

Pursuant to the Village Zoning Ordinance the minimum on-site parking spaces for the office use is one (1) space for 250 square feet plus the required number of handicapped accessible parking spaces pursuant to the State Code. The minimum on-site parking spaces for a warehouse/distribution center is one (1) space for every two (2) employees during any 12-hour period and the required number of handicapped accessible parking spaces pursuant to the State Code.

Number of Parking Spaces Required:

Warehouse/Office:

Approximately total team member count of 204 maximum, 102 space required (1 space per 2 employees on 12 hour shift), 411 spaces provided (existing)*

Approximately total team member count of 30 maximum, 15 spaces required (1 space per 2 employees on 12 hour shift), 61 spaces provided (existing)**

Truck Drivers/switchers and fleet Maintenance:

Approximately total team member count of 80 maximum, 40 spaces required and fleet maintenance (1 space per 2 employees on 12 hour shift), 117 spaces provided**

*site entry via 95th Street employee entrance

**site entry via Green Bay Road truck entrance

Number of existing on-site parking spaces:

- Office employee parking (south side of site with access from 95th Street) 411 spaces (16 handicap);
- Truck driver parking - 75 spaces;
- Tractor parking - 60 spaces; and
- Trailer parking - 120 spaces.

The existing truck driver and tractor parking areas will be reconfigured to provide additional spaces and allow construction of the Bull Pen parking area. The proposed project will include the following on-site parking additions:

- Truck Driver Parking - 42 spaces;
- Tractor Parking - 40 spaces;
- Trailer Parking - 330 spaces;
- Bull Pen Parking (holding area for inbound deliveries outside the security fence) - 50 spaces; and
- Witron Parking (Automatic Storage and Retrieval System (ASRS) equipment maintenance personnel) - 61 spaces.

All parking areas, maneuvering lanes and fire lanes including the truck court, shall be improved with concrete vertical curb and gutter. The location of the parking lots, maneuvering lanes and the fire access lanes, including the curb and gutter shall not be located within any easements on the property without express written approval of any easement holder and shall be setback a minimum 20 feet to property lines, except for the west property line adjacent to the railroad tracks wherein the setback may be decreased to zero pursuant to the Village Zoning Ordinance.

The new access to 95th Street aligns directly across from the SC Johnson driveway to the south. In addition, the width of the new access to 95th Street as shown is acceptable. Trucks leaving from the 95th Street driveway shall be directed east towards STH 31 (Green Board Road). Note on the plans. There are no Village utilities that will interfere with this new access to 95th Street.

The CSM (legal description and location) shall be corrected to reflect the newly revised "Storm Basin" and the new driveway access to 95th Street.

Anticipated Average and Maximum Daily Automobile Traffic Counts: Average daily automobile traffic is projected to be approximately 564 per day. Roughly 213 of these will enter through the truck entrance. Future estimated totals – Average daily automobile traffic is projected to be approximately 480 per day and 624 on peak.

Anticipated Average and Maximum Daily Truck Traffic Counts: Average daily truck traffic is projected to be approximately 320 per day and 416 on peak. Future estimated totals - Average daily truck traffic is projected to be approximately 480 per day and 624 on peak.

Description of Potential Adverse Impacts to Neighboring Properties and Proposed Mitigation Measures: An increase in truck traffic and its associated impact to traffic on Green Bay Road is believed to be the primary potential impact from the proposed expansion. Reconfiguration of the truck entrance will be completed to mitigate this concern. The existing inbound truck entrance is two (2) lanes wide and queue length to the gate arms at the existing guard house gates is roughly three (3) trucks per lane. It is proposed that the inbound truck entrance be widened to three (3) lanes and existing gate arms be removed. Security fence and gates will be shifted 390' to the west. The north inbound lane will provide access to the truck driver and mechanic parking lot, as well as the Bull Pen. Shifting the gate will provide queue space for as many as 8 trucks in both the center and south inbound lanes. Witron employees will enter through the south inbound lane to access their parking lot. Two (2) lanes roughly 100 feet in length will be provided for outbound traffic, which will be released slowly due to exit security procedures (estimated maximum of roughly two (2) trucks every five (5) minutes).

An increase in truck traffic and its associated impact on traffic on 95th Street is also anticipated with Meijer delivery trucks. The proposed new outbound truck driveway will align with the SC Johnson entrance to the south. As noted above, Meijer truck traffic exiting this entrance will travel east to the STH 31 and then go south or north.

Open Space, Landscaping and Storm Water Facilities: The M-2 District requires that a minimum of 25% of the site be open space. The site greatly exceeds this requirement. Currently 68.3% of the site is open space and with the proposed addition including addition parking and maneuvering lanes the site will have 44.1% open space. Upon completion of additional future paving the site will remain at 29.6% open space.

The existing storm water management basin will be maintained and retrofitted to control storm water quantity and improve storm water quality in accordance with current state and local standards. The existing basin in the southwest corner of the site is also proposed to be modified to accommodate the future new Meijer truck access to 95th Street.

Existing screening on the east side of the site is currently being provided by earthen berms with landscape trees. The existing screening will be maintained. The existing berm and landscaping will also attenuate noise block highlight glare from internal truck traffic. Additional landscape screening shall be provided adjacent to the south side of the stormwater basin located at the southwestern corner of the site.

Any new site lighting will be consistent in color and shall be shielded to prevent off-site glare.

Village staff recommends conditional approval of the Site and Operational Plans subject to the above comments and the following conditions:

1. This approval is valid for six (6) months for the date of written approval. Prior to the expiration of this approval the building permits shall be obtained.
2. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date. **The following changes shall be made to the Site**

and Operational Plans. Three (3) revised plans (the entire set of Site and Operational Plans shall be included in one stapled set of plans) along with notations explaining how each of the items below has been addressed shall be submitted for final staff review and approval prior to issuance of the required permit:

- a. The design engineer should consider reconfiguring the wet pond area within the existing dry storm water basin to allow for better sediment settling by providing a greater wet pond length between the 38"x 60" outlet and the basin outlet structure. (See **attached** for clarification).
 - b. A TIA is currently being completed by the Village to analyze several intersections within the business park area. The proposed new entrance onto 95th Street will be reviewed as part of the TIA. At a minimum, all trucks exiting the 95th Street driveway shall exit and go left towards Green Bay Road (STH 31) rather than exiting right. Further comments are pending completion of the TIA.
 - c. A driveway entrance curb detail for 95th Street shall be included in the plans. Example **attached**.
 - d. Does the private sanitary extension on the north side of the site serve both the guard house and the truck wash? Plans shall show laterals to each.
 - e. Additional landscaping around the relocated storm water basin shall be shown.
 - f. Why does the basin need to be fenced? The fence proposed around the southwestern stormwater basin, if approved, shall be black, vinyl coated chain link.
 - g. The fence along the west side of the basin appears to be within the easements. Written permission shall be provided for the easement holder prior to issuance of permits.
 - h. On sheet C-108, all fence (visible to public view) around the cooler/freezer and south side shall be black vinyl coated chain link. There shall be no barb wire on fencing visible to the public.
 - i. The driveway of the new access to 95th Street as shown shall align directly across from the SC Johnson driveway to the south. The width of the new access to 95th Street as shown is acceptable. Meijer trucks exiting from the 95th Street driveway shall be directed east towards STH 31 (Green Board Road). Note on the plans.
 - j. If the existing employee parking area on the south side of the building does not have curb and gutter, this shall be installed.
 - k. On Sheet C-108, remove the parking spaces shown between the new truck driveway and the curb and gutter.
 - l. Details for the new guard station on the south side of the site shall be provided.
 - m. Pursuant to the previously approved Final Site and Operational Plans as conditionally approved by the Plan Commission on May 28, 2013, Street trees along 95th Street shall be installed after the construction of the new access driveway is complete.
3. Compliance with the **attached** memorandum from the Village Fire & Rescue Department dated July 18, 2013.
 4. The CSM (legal description and location) shall be corrected to reflect the newly revised "Storm Basin" and the new driveway access to 95th Street. Plan Commission and Village Board approval is required prior to recording the correction.

5. Compliance with the following standard comments from the Village Building Inspection Department:
- a. All building, plumbing, and HVAC plans will need to be designed to the IBC Codes, Wisconsin Plumbing Code and be State Approved prior to submitting (2 sets) for building permits from the Village.
 - b. Halls, corridors, stairways, passageways, work aisles and other means of egress from factories, offices and mercantile buildings shall have emergency lighting and exit lighting per Article 700 of the NEC, SPS 316.46. The Village Fire & Rescue Department should be contacted for further information and requirements. Contact Fire & Rescue Chief McElmury at 262-694-8027.
 - c. Complete erosion control measures, silt fence and gravel access drives must be maintained per Wisconsin Construction Site Best Management Practice Handbook and be inspected within 24 hours of any land disturbing activity.
 - d. The Village requires that all commercial buildings provide a sampling manhole per Municipal Ordinance 285-18 C. Existing sampling manhole to be reviewed for compliance.
 - e. This parcel and building shall comply with all requirements of Barrier-Free Design.
 - f. The architect(s)/ professional engineer(s) shall submit, to the Village and State, the compliance statement, Form SBD 9720, prior to the final inspection with the Village Building Inspection and Fire & Rescue Departments.
 - g. The electrical contractors (High and Low voltage) shall obtain a permit from the Village prior to beginning work.
 - h. All mechanical contractors shall obtain a permit from the Village prior to beginning work.
 - i. Building plans will need to show detail on fire stopping of all penetrations through fire rated walls and fire separation walls as required by emergency rule that took effect on January 28, 1998.
 - j. Sprinkler plans are required to be submitted to, and reviewed by the Village Fire & Rescue Department.
 - k. Any and all fire alarm installations require plan review and permit from the Village Fire & Rescue Department.

6. **Upon approval of the revised Site and Operational Plans, and prior to the issuance of the required building permits the following shall be submitted:**

- a. An electronic pdf of the revised Site and Operational Plans.
- b. The Commercial Building Permit applications and required State approved plans.
- c. Written approval of the Site and Operational Plans from LakeView Corporation Commercial Association including a copy of any variances.

7. **General Comments**

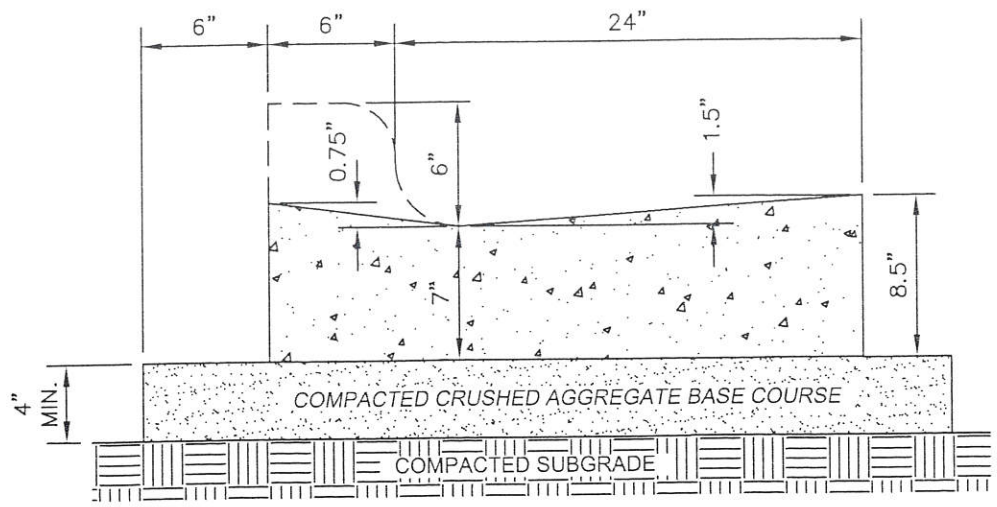
- a. Impact fees shall be paid as a condition of issuance of the building permit for all building additions. (Based upon \$1.94 per \$1,000 of new valuation as determined by the Village Assessing Department).
- b. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m. With prior

authorization from the Building Inspection and Police Department 24 hour construction work may be allowed.

- c. There shall be no construction parking permitted on 95th Street or STH 31. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
- d. No construction trailers shall be parked in Village rights-of-way. All construction related signage shall be approved and permitted by the Village.
- e. A Work in the right-of-way permit shall be obtained from the Village prior to commencing any work in the 95th Street right-of-way.
- f. Permits are required for sign changes to the existing primary monument signs and any new on-site directional signs, temporary development signs, real estate marking signs and wall signs. All signs shall comply with all requirements of the Village Sign Ordinance.
- g. For security reasons, the Village recommends surrounding the construction site with a six (6) foot high temporary chain link fence. A fence permit is required for the temporary fencing.
- h. Permits are required for any new or relocated fencing on the property.
- i. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
- j. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
- k. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
- l. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
- m. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
- n. There shall be no long-term semi-truck/trailer or box truck parking for inventory product storage permitted on the site that is not used in the normal operations of the facility.
- o. There shall be no outdoor storage or display of materials, goods or equipment on this site, unless as approved by the Village.
- p. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for business storage operations is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
- q. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- r. Prior to occupancy each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
- s. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view as approved by the Village Zoning Administrator.

- t. Prior to written occupancy all required landscaping or screening shall be installed and written verification and/or certification shall be provided to the Village by the landscape designer that the landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy. However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
- u. Prior to written occupancy of the building and associated site improvements three (3) copies of an as-built plan stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all pavement markings were marked per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans. In addition, written certification from the landscaping and signage companies that the landscaping and signage was installed pursuant to the approved Site and Operational Plans shall be submitted.
- v. Prior to written occupancy an as-built record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation system installed shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.

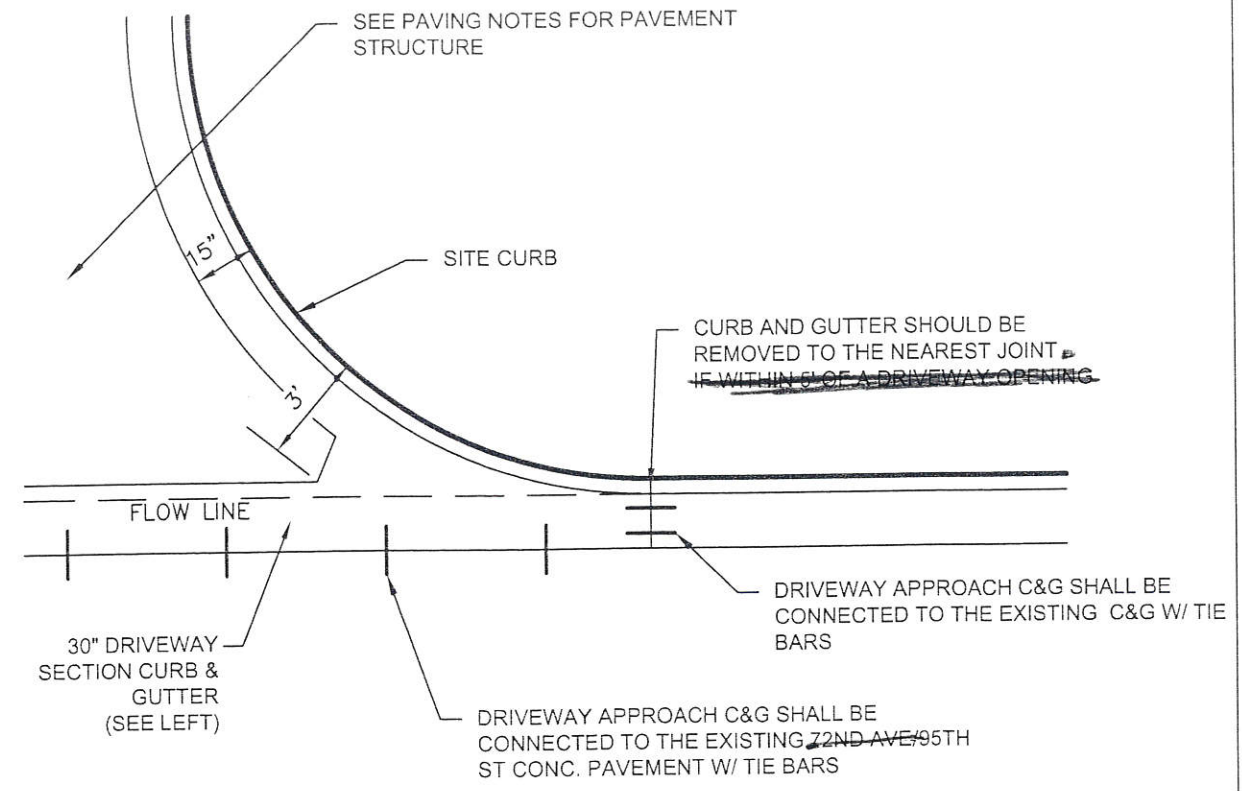
EXAMPLE



DRIVEWAY SECTION
CONCRETE CURB & GUTTER

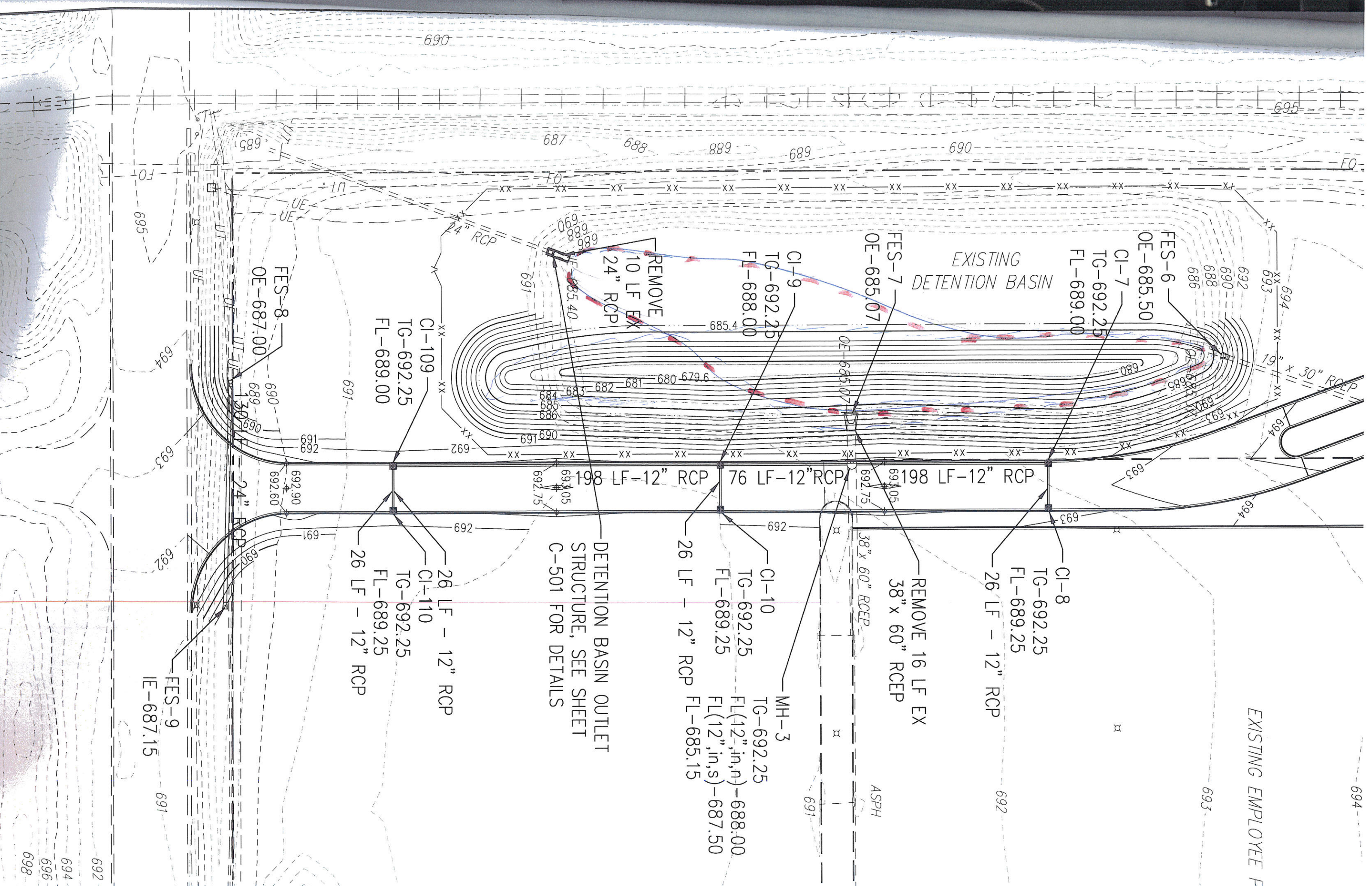
GENERAL NOTES

1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINT FILLER SHALL BE A ONE PIECE FIBER BOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.



DRIVEWAY ENTRANCE

NTS



EXISTING
DETENTION BASIN

EXISTING EMPLOYEE P...

DETENTION BASIN OUTLET
STRUCTURE, SEE SHEET
C-501 FOR DETAILS

REMOVE 16 LF EX
38" x 60" RCEP

CI-8
TG-692.25
FL-689.25
26 LF - 12" RCP

26 LF - 12" RCP
CI-10
TG-692.25
FL-689.25
MH-3
TG-692.25
FL(12", in, n) - 688.00
FL(12", in, s) - 687.50
FL-685.15

26 LF - 12" RCP
CI-110
TG-692.25
FL-689.25

FES-9
IE-687.15

FES-8
OE-687.00

CI-109
TG-692.25
FL-689.00

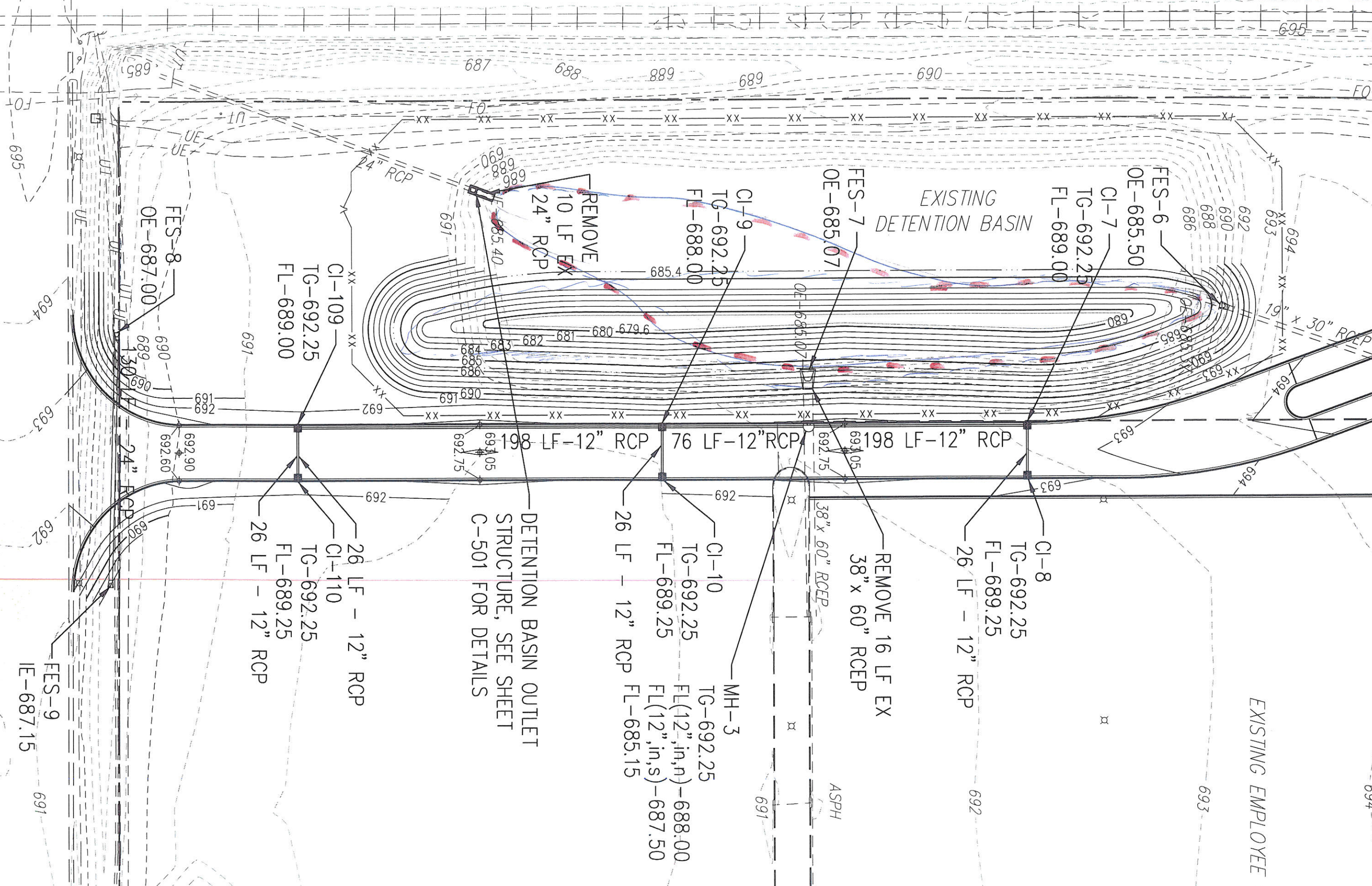
CI-9
TG-692.25
FL-688.00

FES-7
OE-685.07

CI-7
TG-692.25
FL-689.00

FES-6
OE-685.50

REMOVE
10 LF EX
24" RCP





VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Meijer 871 and 872 project
DATE: July 18, 2013

Village of Pleasant Prairie Fire and Rescue Department requirements for the Meijer 872 project:

1. All fire hydrants must meet current Village of Pleasant Prairie Fire and Rescue Dept. standards.
2. Since in ground boxes for PIVs are not acceptable (can't be easily be located w/ snow) the Fire and Rescue Dept. would like to see exterior wall mounted OS & Y valves with stair access.
3. All existing defective shut off valves on PIVs need to be either be repaired or replaced.
4. There shall be a fire lane extension installed around the north side of building 871.
5. A pumper pad at the energy center will be provided to match the Village of Pleasant Prairie Fire and Rescue Dept. standards. (Details attached)
6. Fire alarm system must be brought up to current standards and connected to the 871 fire alarm system
7. Remote annunciators shall be installed at the front door of the offices, corner door by maintenance area, energy center, guard shack and truck entrance
8. 4400 Series Knox Boxes shall be installed by the front door of the offices, back door to office area – west side, corner door, energy center by the fire pump door and the by both small office areas attached to the warehouse
9. Must supply 12 lengths of 2" x 75' fire hose that meets Pleasant Prairie Fire & Rescue specification to be used to connect to standpipes.
10. Ammonia sensors in engine room shall be monitored by the fire alarm panel.
11. A Fire & Rescue Command Post shall be provided in the Guard House located at the Green Bay Rd. entrance. The Command Post shall be located inside the building in an area that includes a desk or table. Two VHF radios with exterior antennas that meet Pleasant Prairie Fire & Rescue specifications shall be provided. A cabinet inside the Command Post that is secured with a Knox Padlock shall be provided to store the radios, maps, pre-plan information, etc. It is understood that the Command Post area will normally be used by Meijer for day-to-day operations and in the event of an emergency will be used by the Fire & Rescue Dept. or Police Dept. utilizing the equipment stored in the locked cabinet specified above. The Guard House shall have computer/network access for Meijer employees to access data about the facility and their employees to be used as part of a Unified Command process.



RECEIVED JUN 21 2013

Village of Pleasant Prairie

VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.
To construct a new or addition to principal or accessory structure.
Use requires a Conditional Use Permit.

Table with 2 columns: Description and Date. Rows include Application Filed on, Preliminary Determination of Completeness on, Revised Plans Submitted, Public Hearing Required, Published on, Approved by, and Denied by.

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Meijer Distribution, Inc.

SITE ADDRESS: 7400 95th Street, Pleasant Prairie, WI 53158

BRIEF PROJECT DESCRIPTION: Addition to an existing building with associated parking, loading and access roads. Renovation of the existing warehouse, addition to the existing energy center, truck wash addition, new south access road to 95th Street and new guard houses at both the existing Green Bay Road entrance and new 95th Street entrances.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 522

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 42

SITE SIZE: 5,205,769 sq. ft. 119.508 acres

PROPOSED BUILDING SIZE: sq.ft. HEIGHT: ft.

PROPOSED ADDITION SIZE: 9,764 sq.ft. HEIGHT: varies, 89 max ft.

LEGAL DESCRIPTION: See Attachment

TAX PARCEL NUMBER(S) : 92-4-122-164-0101, 92-4-122-164-0105 and 92-4-122-211-001

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: M-2

- 1. Is a zoning map amendment proposed with this project? Yes No
2. Is a zoning text amendment proposed with this project? Yes No

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) 5,091 - Dock Addition sq ft
- Storage Group S-2 (Low-hazard) 4,405 - Energy Center Addition sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other Group U, North Guard House 685 sq ft
- Other Group U, West Guard House 274 sq ft
- Other Group U, Truck Wash 4,512 sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 360 gpm.

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: 5/28/13
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

- Are there any existing buildings on the site? YES NO
- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
 - If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - **If no** then skip to Section 5.
 - **If yes**, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?** YES NO
 - **If yes**, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - **If no**, continue with this Section.
3. If you answered **YES** to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - **If no**, then skip to Section 7.
 - **If yes**, then continue with this section.
2. If you answered **YES** to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: Meijer Distribution, Inc.
 (Please Print)
 Signature: 
 Michael L. Kinstle, Vice President - Real Estate
 Address: 2929 Walker Avenue NW
Grand Rapids MI 49544
 (City) (State) (Zip)
 Phone: 616-791-3632
 Fax: 616-558-7302
 E-mail: Florin.Stanescu-Bellu@meijer.com
 Date _____

APPLICANT:

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date _____

USER OR OCCUPANT OF SITE:

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

Legal Description

SURVEYORS PROPERTY DESCRIPTION (PREPARED AT THE REQUEST OF CLIENT)

THAT PART OF PARCEL 9 OF CERTIFIED SURVEY MAP NO. 1292, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF KENOSHA COUNTY, WISCONSIN ON SEPTEMBER 21, 1989 IN VOLUME 1366 OF RECORDS, PAGES 505-508, AS DOCUMENT NO. 828360 AND BEING PART OF THE SOUTHWEST 1/4 OF SOUTHWEST 1/4 OF SECTION 15, THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, AND THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, ALL IN TOWN 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, AND ALL OF PARCEL 10 AND PART OF PARCEL 11 BOTH OF CERTIFIED SURVEY MAP NO. 1291, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF KENOSHA COUNTY, WISCONSIN ON SEPTEMBER 21, 1989, IN VOLUME 1366 OF RECORDS, PAGES 501-504, AS DOCUMENT NO. 828359, AND BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 15, THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 16 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, ALL IN TOWN 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, ALL DESCRIBER AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID PARCEL 10; THENCE NORTH 88 DEGREES 42 MINUTES 31 SECONDS EAST ALONG THE NORTH LINE OF SAID PARCEL 10 A DISTANCE OF 1387.86 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 02 DEGREES 45 MINUTES 01 SECONDS EAST ALONG THE EAST LINES OF SAID PARCELS 10 AND 11 A DISTANCE OF 1703.30 FEET TO THE NORTHERLY CORNER OF PROPERTY WHICH WAS ACQUIRED BY THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION BY DEED RECORDED IN VOLUME 1430 OF RECORDS, PAGES 746-747, AS DOCUMENT NO. 860599; THENCE SOUTH 01 DEGREES 51 MINUTES 49 SECONDS EAST ALONG THE WEST LINE OF SAID WISCONSIN DEPARTMENT OF TRANSPORTATION PROPERTY A DISTANCE OF 50.66 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL 11 ALSO BEING THE NORTHWEST CORNER OF PROPERTY WHICH WAS ACQUIRED BY THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, FOR ROAD PURPOSES IN QUIT CLAIM DEED RECORDED FEBRUARY 18, 1992, IN VOLUME 1488 OF RECORDS, PAGES 403-404, AS DOCUMENT NO. 886463; THENCE SOUTH 01 DEGREES 52 MINUTES 34 SECONDS EAST ALONG THE WEST LINE OF THE LAST DESCRIBED PROPERTY ACQUIRED BY THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION A DISTANCE OF 645.20 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 15; THENCE SOUTH 01 DEGREES 51 MINUTES 49 SECONDS EAST ALONG SAID WEST LINE A DISTANCE OF 158.57 FEET TO A BEND POINT IN SAID WEST LINE; THENCE SOUTH 01 DEGREES 11 MINUTES 20 SECONDS EAST ALONG SAID WEST LINE A DISTANCE OF 699.58 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL 9; THENCE NORTH 89 DEGREES 54 MINUTES 55 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 431.31 FEET TO A CORNER OF SAID PARCEL 9; THENCE SOUTH 02 DEGREES 15 MINUTES 25 SECONDS EAST ALONG A EAST LINE OF SAID PARCEL 9 A DISTANCE OF 231.30 FEET TO A CORNER OF SAID PARCEL 9; THENCE SOUTH 88 DEGREES 56 MINUTES 21 SECONDS WEST ALONG A SOUTH LINE OF SAID PARCEL 9 A DISTANCE OF 175.98 FEET TO A CORNER OF SAID PARCEL 9; THENCE SOUTH 02 DEGREES 15 MINUTES 25 SECONDS EAST ALONG A EAST LINE OF SAID PARCEL 9 A DISTANCE OF 197.49 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL 9, ALSO BEING A POINT ON THE NORTH LINE OF 95TH STREET (FERGUSSON DRIVE) C.T.H. *T*; THENCE SOUTH 88 DEGREES 56 MINUTES 21 SECONDS WEST ALONG THE SOUTH LINE OF PARCEL 9 AND THE NORTH LINE OF SAID STREET A DISTANCE OF 925.28 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 9; THENCE NORTH 01 DEGREES 11 MINUTES 20 SECONDS WEST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 1282.16 FEET TO A CORNER OF SAID PARCEL 9 ALSO BEING THE NORTH LINE OF SAID SECTION 21; THENCE NORTH 88 DEGREES 42 MINUTES 31 SECONDS EAST ALONG THE LAST DESCRIBED LINE AND THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 25.00 FEET TO A CORNER OF SAID PARCEL 9; THENCE NORTH 01 DEGREES 11 MINUTES 20 SECONDS WEST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 1338.57 TO A CORNER OF SAID PARCEL 9; THENCE NORTH 88 DEGREES 36 MINUTES 37 SECONDS EAST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 55.00 FEET TO A CORNER OF SAID PARCEL 9; THENCE NORTH 01 DEGREES 11 MINUTES 20 SECONDS WEST ALONG THE WEST LINES OF SAID PARCELS 9 AND 10 A DISTANCE OF 1049.82 TO THE POINT OF BEGINNING, ALL BEING IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

Existing Building Summary

The site was previously developed as a wholesale grocery distribution center, supporting retail grocery stores in the southern Wisconsin and northern Illinois area. Packaged dry groceries, frozen food, meat, dairy and produce is shipped to the facility from suppliers throughout the country and temporarily stored in non-refrigerated and refrigerated warehouse buildings until such time as they are selected and loaded onto trucks and shipped to retail grocery stores. A summary of existing buildings and their uses is provided below. The attached diagram provides the location of each building area some of which are connected.

Building #	Current Use	Proposed Use	Gross Floor Area	Height*
1	Dry Grocery Warehouse	Dry Grocery Warehouse	354,952 sf	40'-9"
2	D G Warehouse Offices	D G Warehouse Offices	5,680 sf **	29'-6"
3	Warehouse Maintenance	Warehouse Maintenance	6,072 sf **	38'-6"
4	General Office	General Office	54,411 sf	17'-6"***
5	Refrigerated Warehouse	Refrigerated Warehouse	160,697 sf	38'-6"****
6	Ref. Warehouse Offices	Ref. Warehouse Offices	6,312 sf **	29'-6"
7	Energy Center	Energy Center	4,070 sf	29'-6"
8	Truck Maintenance	Truck Maintenance	9,628 sf	20'-10"
9	Guard House	Guard House	2,360 sf	20'-0"

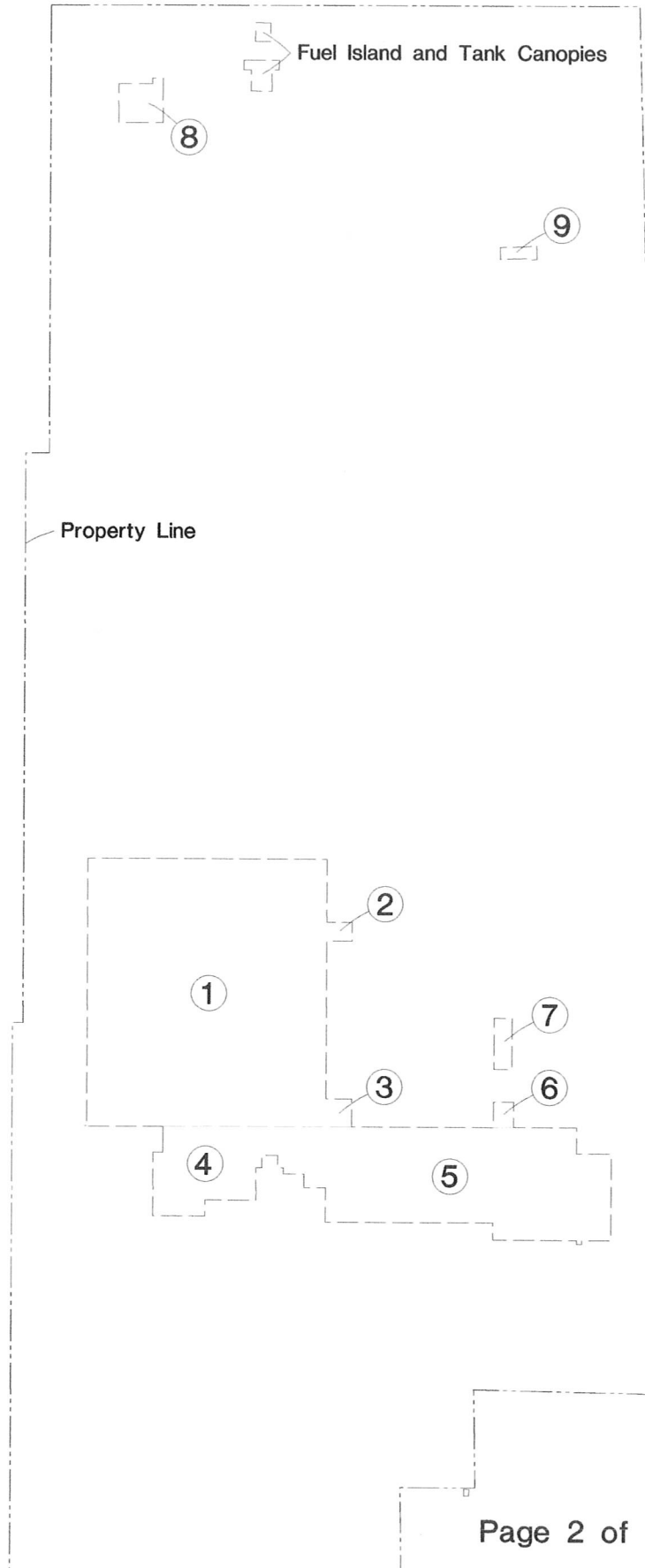
*Building height is to top of outside wall panel

**Two stories, area is for one level

***Rooftop unit screen heights are 22'-0"

****Penthouse heights are 48'-6"

Existing Building Summary



Site Photos



View of existing building looking to the southwest. Addition will attach to the existing building at the right/northwest corner. Pavement for dock maneuvering area and trailer parking will be added on both the east and west sides of the addition. Existing building wall material is painted pre-cast concrete.

All photos taken from berm along eastern boundary of the site on 11/1/2012

Site Photos



View of undeveloped portion of site looking to the west.

The north end of the addition will end roughly in line with the existing transmission tower in the background. Pavement for dock maneuvering area and trailer parking will be added on both the east and west sides of the addition.

All photos taken from berm along eastern boundary of the site on 11/1/2012

Site Photos



View of undeveloped portion of site looking to the northwest. Existing truck maintenance facility (TMF), fueling island and abound ground fuel storage tanks can be seen in the background. Pavement for trailer parking will be added in this area. TMF building wall material is painted pre-cast concrete.

All photos taken from berm along eastern boundary of the site on 11/1/2012

Site Photos



View of existing truck entrance looking to the north.

Existing guard house can be seen in the background (left/west of flag). Pavement for inbound holding and employee parking will be added north of the existing guard house. Pavement for Witron employee will be added south of the existing guard house. Guard house building wall material is painted pre-cast concrete.

All photos taken from berm along eastern boundary of the site on 11/1/2012

**OPERATIONAL PLAN
MEIJER 872
PLEASANT PRAIRIE, WISCONSIN**

- A. Description of Operations - The site was previously developed as a wholesale grocery distribution center, supporting retail grocery stores in the southern Wisconsin and northern Illinois area. Packaged dry groceries, frozen food, meat, dairy and produce is shipped to the facility from suppliers throughout the country and temporarily stored in non-refrigerated and refrigerated warehouse buildings until such time as they are selected and loaded onto trucks and shipped to retail grocery stores. The site was originally planned to be developed in phases with various types of building and pavement additions.
- B. Proposed Project Description - Operation of the facility will not be significantly changed other than increases in volume due to the proposed additions.
- C. Gross Floor Areas of Existing Buildings and Proposed Additions -

The following is a description of existing warehouse and accessory buildings:

1. One-story office space - 54,411 square feet;
2. Dry grocery warehouse – 360,632 square feet;
3. Refrigerated warehouse - 137,589 square feet;
4. Tractor/trailer maintenance and service building (including truck wash bay) - 9,628 square feet;
5. Guard House (at truck entrance) - 2,360 square feet;
6. Energy Center (includes ammonia refrigeration equipment) - 5,070 square feet;
7. Fueling station and above ground tank system (both canopy covered)

The proposed project Phase 1 will include building additions **and renovations** as described below:

1. High bay Automated Storage and Retrieval System (ASRS) building, welfare areas & associated docks – 245,792 square feet. The Welfare Area is a typical office/support area for the ASRS building. The area includes break, locker and conference rooms, restrooms, offices and miscellaneous control, mechanical, data and storage areas. **Also proposed is a 5,091 square foot dock addition to the existing cooler/freezer warehouse and 9,876 square feet of accessory buildings.**

Renovations include modification of the existing dry grocery warehouse to provide of cooler/freezer (364,450 sq. ft.), modifications to the existing cooler/freezer (167,000 sq. ft.), modifications to the existing energy center (4,700 sq. ft.) and modifications to the existing office (22,000 sq. ft.).

- D. Hours of Operation -

The facility will be in operation 24 hours per day/seven days per week, in varying degrees of activity.

Trucks making deliveries to retail stores will depart throughout the day, seven days a week. These loads will be arrayed over the daily 24 hour period, with peaks being from 10PM to 3AM. These trucks will return throughout the 24 hour daily period, seven days a week.

Trucks will make deliveries to the site from outside suppliers all 7 days weekly beginning after midnight and arrayed throughout the 24 hour period. There will be two types of deliveries; (a) “drop trailers” will primarily be drivers that are familiar with the facility who bring a load in, drop it in the trailer parking lot, pick up an

empty trailer and depart; "live loads" will be drivers that mostly are not familiar with the facility and bring their loads in by appointment. Live loads will bring the load in, wait in the staging "bull pen" area for their appointment time, take their load directly to a designated dock door, wait for the load to be unloaded and leave with the empty trailer they brought in. Roughly 20-25% of the inbound traffic will be live loads.

The office will operate daily in conjunction with the distribution business flow. The facility will not be open to the public.

E. Anticipated Startup Date and Employee Count -

The existing facility will be closed May 2013 to Mid-2014. Operations are expected to re-start by March 31st, 2014.

Phase I - Full Time Employees estimated, 522 including 3rd party labor
Part Time Employees estimated, 42 including 3rd party labor.

Future (estimated) - Full Time Employees estimated, 599 including 3rd party labor
Part Time Employees estimated, 42 including 3rd party labor.

F. Anticipated Number of Shifts and Employee Count per Shift ; each area will operate with two planned 10-12 hour shifts 6 days per week with seasonal requirements to 7 days.

1st shift (6AM – 5PM) warehouse approximately 152 team members *
warehouse approximately 30 team members **
shift maintenance/security approximately 16 team members*
unloaders (lumpers) approximately 36 team members*
3rd party/fleet maintenance approximately 17 team members **

1st shift (8AM – 5PM) Office operations – Monday thru Saturday approximately 10 team members*

2nd shift (6PM – 5AM) warehouse approximately 102 team members*
warehouse approximately 30 team members **
shift maintenance/security approximately 11 team members*
unloaders (lumpers) approximately 24 team members*
3rd party/fleet maintenance approximately 11 team members**

Truck Drivers/Switchers approximately 125 team members rotating over the 24 hour period**

G. Maximum Number of Employees on Site at Any Time of Day -

316

H. Assembly - Not Applicable

I. Number of Parking Spaces Required -

Warehouse/Office Approximate total team member count of 204 maximum, 102 spaces required
(1 space per 2 employees on 12 hour shift), 411 spaces provided (existing)*

Approximate total team member count of 30 maximum, 15 spaces required
(1 space per 2 employees on 12 hour shift), 61 spaces provided (existing)**

Truck drivers/switchers and fleet maintenance Approximate total team member count of 80 maximum, 40 spaces required (1 space per 2 employees on 12 hour shift), 117 spaces provided **

*site entry via 95th Street employee entrance
**site entry via Green Bay Road truck entrance

J. Number of Existing and Proposed Parking Spaces -

The following is a description of existing parking spaces:

1. Front office employee parking - 411 spaces (16 handicap);
2. Truck driver parking - 75 spaces;
3. Tractor parking - 60 spaces;
4. Trailer parking - 120 spaces.

The proposed project will include parking additions as described below:

1. Truck Driver Parking - 42 spaces;
2. Tractor Parking - 40 spaces;
3. Trailer Parking - 330 spaces;
4. Bull Pen Parking (holding area for inbound deliveries outside the security fence) - 50 spaces;
5. Witron Parking (ASRS equipment maintenance personnel) - 61 spaces.

It should be noted that the existing truck driver and tractor parking areas will be reconfigured to provide additional spaces and allow construction of the Bull Pen parking area.

K. Anticipated Average and Maximum Daily Automobile Traffic Counts -

Phase 1 -Average daily automobile traffic is projected to be approximately 564 per day. Roughly 213 of these will enter through the truck entrance.

Future estimated totals – Average daily automobile traffic is projected to be approximately 641 per day. Roughly 290 of these will enter through the truck entrance.

L. Anticipated Average and Maximum Daily Truck Traffic Counts -

Phase 1 - Average daily truck traffic is projected to be approximately 320 per day and 416 on peak.

Future estimated totals - Average daily truck traffic is projected to be approximately 480 per day and 624 on peak.

M. Types of goods to be Stored On Site -

Consumer Product Goods for Retail Sales of packaged grocery, fresh, frozen and dry consumables.

N. Types of Equipment or Machinery to be Used On Site -

Yard trucks, lawn mowing equipment, snow removal equipment, material handling lift trucks.

O. Types of Solid or Liquid Waste Material that will Require Disposal -

Cardboard, pallets, petroleum products and parts from truck or facility maintenance, to include water discharge from a truck wash facility.

P. Method of Handling, Storing and Disposing of Solid or Liquid Waste Materials -

Approved containment vessels/containers for 3rd party contracting.

Q. Method of Providing Site Security (other than the Village Police Department) -

Perimeter chainlink fence, guard house at truck entrance & 24 x7 Loss Prevention site presence, CCTV, environmental and security alarm systems.

R. Exterior Maintenance Methods -

Mowing, litter removal, periodic sweeping of paved areas and exterior painting.

S. Description of Potential Adverse Impacts to Neighboring Properties and Proposed Mitigation Measures -

An increase in truck traffic and its associated impact to traffic on Green Bay Road is believed to be the primary potential impact from the proposed expansion. Reconfiguration of the truck entrance will be completed to mitigate this concern. The existing inbound truck entrance is 2 lanes wide and queue length to gate arms at the existing guard house gates is roughly 3 trucks per lane. It is proposed that the inbound truck entrance be widened to 3 lanes and existing gate arms be removed. Security fence and gates will be shifted 390' to the west. The north inbound lane will provide access to the truck driver and mechanic parking lot, as well as the Bull Pen. Shifting the gate will provide queue space for as many as 8 trucks in both the center and south inbound lanes. Witron employees will enter through the south inbound lane to access their parking lot. Two roughly 100 feet in length will be provided for outbound traffic, which will be released slowly due to exit security procedures (estimated maximum of roughly 2 trucks every 5 minutes).

Excellent screening on the east side of the site is currently being provided by earthen berms with landscape trees. The existing screening will be maintained. The existing berm and landscaping will also attenuate noise block highlight glare from internal truck traffic.

Any new site lighting will be shielded to prevent off-site glare.

The existing storm water management basin will be maintained and retrofitted to control storm water quantity and improve storm water quality in accordance with current state and local standards.

T. List of Required Permits -

Coverage under WDNR General Permit for Construction Site Storm Water Runoff (WPDES # WI-S067831-4).

U. Applicant Contact Information -

Rick Hershberger, Director of Distribution
Meijer Inc.
2929 Walker Ave., NW
Grand Rapids, MI 49544
Rick.Hershberger@meijer.com
616-735-7426

Return to: Bruce Rabe
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: brabe@kenosha.org

Date Sent: _____

Date Due: _____

**VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY**

To be submitted to the

Kenosha Water Utility

General Information

1. Facility Name: Meijer Western DC
2. Mailing Address: 2929 Walker Avenue NW
3. City, State, Zip Code: Grand Rapids, MI 49544
4. Site Address: 7400 95th Street, Pleasant Prairie, WI 53158
5. Standard Industrial Classification Code (SIC): 4231
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative

Name: Michael L. Kinstle
Title: Vice President - Real Estate
Phone #: 616-791-3632

Company Contact

Name: Brenda Pineau
Title: Director, Environmental Compliance
Phone #: 616-791-3663

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

Operational Characteristics

1. Existing Number of Employees: Full Time 522 Part Time 42
2. Operational Schedule: Days/Wk 6 Hours/Day 10-12 # Shifts 2
3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities): Wholesale grocery distribution center supporting retail grocery stores. Merchandise includes packaged dry groceries, frozen food, meat, dairy and produce.
4. List principal raw materials used: Not Applicable
5. List products produced and the average rate of production: Not Applicable
6. List types of wastes created during production and any by-products produced: Not Applicable
7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 6,621,100 gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie X
Meter number or address assigned to water meter(s). _____
8. Type of discharges: Continuous X Batch X
If batch was indicated, give the average frequency and approximate volume of any batch discharges: _____
9. Describe the uses of water at this facility: sanitary facilities, janitorial cleaning, floor drains and future truck wash.

Wastewater Information

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process	Time and Duration of Discharges
<u>Janitorial Floorcare</u>	<u>Daily, 8:00 am - 5:00 pm (intermittent)</u>
<u>Truck Wash (future)</u>	<u>Daily, 8:00 am - 5:00 pm (intermittent)</u>
_____	_____
_____	_____

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

See attached list of janitorial cleaning products, a Material Safety Data Sheet (MSDS) is available upon request

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water? No

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day fir each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	11,280	11,280	Continuous
Process Wastewater Usage	-60	-60	Janitorial floorcare, Batch
Cooling Water Usage			
Other Usage	25,000	25,000	Truck Wash, Batch, 250 gal per truck, 100 trucks/day
Total Volume	36,280	36,280	

5. Describe all locations where wastewaters enter the collection system _____

At northeast corner of the site and east central boundary.

6. Is there a sampling manhole on site? No _____ Yes X

If yes, describe the locations: Upstream of the connection points described above.

7. Are sanitary and process wastewaters separated? NA No _____ Yes _____

8. Is boiler blowdown water discharged to the sanitary sewer? NA No _____ Yes _____

9. Does your facility haul any process wastewater? NA No _____ Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No X Yes _____

If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No _____ Yes X

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?

No X Yes _____ If yes, describe procedure: _____

5. Is any form of waste water pretreatment practiced at this facility? No Yes
If yes, describe: _____

6. List any specific pretreatment standards that apply to this facility: Not Applicable

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.

Not Applicable

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.

Not Applicable

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

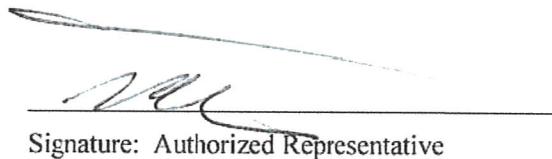
I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Michael Kinstle

Print Name: Authorized Representative

Vice President, Real-Estate

Title



Signature: Authorized Representative

April 25, 2013

Date

**Appendix
Toxic Pollutants Listed in 40CFR 307(a)**

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinated ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chloroform
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo-p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

**Meijer Western Distribution Center - Pleasant Prairie, WI
Janitorial Cleaning Chemcials**

Product	Application	Pack Size
DAZZLE Cleaner & Polish	Stainless steel polish and protector (RTU)	6 x 1 qt
Kay Chlorinated Cleaner	Spray foam application and heavy duty degreasing	2.5 gal
KAY Foaming Lotion Hand Soap	Foaming Lotion Hand Soap	6 x 750 mil
Clean Touch Pro 350	Heavy Duty Hand Soap	4 x 1 gal
Clean Touch Pro 400 w/ Grit	Heavy Duty Hand Soap w/Grit	4 x 1 gal
Endure Revitalizing Skin Lotion	Hand Lotion	12 x 540 mil
KAY Super Concentrate Glass & Multisurface Cleaners	Glass and multisurface cleaner	2 x 2 gal
Triple Play	Multipurpose Disinfectant Cleaner	2 x 1 gal
Kay Graffiti Remover	Graffiti remover	4 x 1 pt
Aromist Refill	Refill	4 refills
Retail Foaming Drain Cleaner	Foaming Drain Cleaner	2 x 2 Lt
Chlorinated Cleaner Bottle/Sprayer	Spray bottle and sprayer	4 x 3 ea
KAY Glass & Multisurface Cleaner Spray Bottle & S	Spray bottle and sprayer	4 x 3 ea
Triple Play Spray Bottle	Sprayer bottle and sprayer	4 x 3 ea

meijer - 872

PLEASANT PRAIRIE GROCERY RENOVATION Village of Pleasant Prairie, WI

FINAL SITE AND OPERATIONAL
PLAN SUBMITTAL

RECEIVED
JUN 21 2013

Village of Pleasant Prairie

PROJECT INFORMATION

SITE ADDRESS

7400 95th STREET
PLEASANT PRAIRIE,
WISCONSIN 53158
618264

CUSTOMER ADDRESS

MEIJER
2929 WALKER AVE, NW
GRAND RAPIDS, MI 49544

CIVIL ENGINEER

TERRY SHAW, P.E.
1100 HUNTER DRIVE
LANCASTER, KY 40444

CIVIL ENGINEER OF RECORD:
TERRY SHAW, P.E.
OFFICE PHONE: (859) 548-2251
E-MAIL: tshawpe@windstream.net
REGISTRATION # : E-30042



DOCUMENT RELEASE #5
JUNE 21, 2013
gnf PROJECT NO. 213039



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Lexington, KY - Bowling Green, KY
Birmingham, AL

TERRY SHAW, P.E.
1100 HUNTER DRIVE
LANCASTER, KY 40444
859-548-2251
COA NO. 3760-11

NO.	DATE	DESCRIPTION
01	02/21/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL
<p>RELEASES</p> <p>01 SITE DEVELOPMENT MASTER PLAN</p> <p>02 SITE GRADING AND DRAINAGE PLAN</p> <p>03 SITE GRADING AND DRAINAGE PLAN</p> <p>04 SITE GRADING AND DRAINAGE PLAN</p> <p>05 SITE GRADING AND DRAINAGE PLAN</p> <p>06 SITE GRADING AND DRAINAGE PLAN</p> <p>07 SITE GRADING AND DRAINAGE PLAN</p> <p>08 SITE GRADING AND DRAINAGE PLAN</p> <p>09 SITE GRADING AND DRAINAGE PLAN</p> <p>10 SITE GRADING AND DRAINAGE PLAN</p> <p>11 SITE GRADING AND DRAINAGE PLAN</p> <p>12 SITE GRADING AND DRAINAGE PLAN</p> <p>13 SITE GRADING AND DRAINAGE PLAN</p> <p>14 SITE GRADING AND DRAINAGE PLAN</p> <p>15 SITE GRADING AND DRAINAGE PLAN</p> <p>16 SITE GRADING AND DRAINAGE PLAN</p> <p>17 SITE GRADING AND DRAINAGE PLAN</p> <p>18 SITE GRADING AND DRAINAGE PLAN</p> <p>19 SITE GRADING AND DRAINAGE PLAN</p> <p>20 SITE GRADING AND DRAINAGE PLAN</p> <p>21 SITE GRADING AND DRAINAGE PLAN</p> <p>22 SITE GRADING AND DRAINAGE PLAN</p> <p>23 SITE GRADING AND DRAINAGE PLAN</p> <p>24 SITE GRADING AND DRAINAGE PLAN</p> <p>25 SITE GRADING AND DRAINAGE PLAN</p> <p>26 SITE GRADING AND DRAINAGE PLAN</p> <p>27 SITE GRADING AND DRAINAGE PLAN</p> <p>28 SITE GRADING AND DRAINAGE PLAN</p> <p>29 SITE GRADING AND DRAINAGE PLAN</p> <p>30 SITE GRADING AND DRAINAGE PLAN</p> <p>31 SITE GRADING AND DRAINAGE PLAN</p> <p>32 SITE GRADING AND DRAINAGE PLAN</p> <p>33 SITE GRADING AND DRAINAGE PLAN</p> <p>34 SITE GRADING AND DRAINAGE PLAN</p> <p>35 SITE GRADING AND DRAINAGE PLAN</p> <p>36 SITE GRADING AND DRAINAGE PLAN</p> <p>37 SITE GRADING AND DRAINAGE PLAN</p> <p>38 SITE GRADING AND DRAINAGE PLAN</p> <p>39 SITE GRADING AND DRAINAGE PLAN</p> <p>40 SITE GRADING AND DRAINAGE PLAN</p> <p>41 SITE GRADING AND DRAINAGE PLAN</p> <p>42 SITE GRADING AND DRAINAGE PLAN</p> <p>43 SITE GRADING AND DRAINAGE PLAN</p> <p>44 SITE GRADING AND DRAINAGE PLAN</p> <p>45 SITE GRADING AND DRAINAGE PLAN</p> <p>46 SITE GRADING AND DRAINAGE PLAN</p> <p>47 SITE GRADING AND DRAINAGE PLAN</p> <p>48 SITE GRADING AND DRAINAGE PLAN</p> <p>49 SITE GRADING AND DRAINAGE PLAN</p> <p>50 SITE GRADING AND DRAINAGE PLAN</p> <p>51 SITE GRADING AND DRAINAGE PLAN</p> <p>52 SITE GRADING AND DRAINAGE PLAN</p> <p>53 SITE GRADING AND DRAINAGE PLAN</p> <p>54 SITE GRADING AND DRAINAGE PLAN</p> <p>55 SITE GRADING AND DRAINAGE PLAN</p> <p>56 SITE GRADING AND DRAINAGE PLAN</p> <p>57 SITE GRADING AND DRAINAGE PLAN</p> <p>58 SITE GRADING AND DRAINAGE PLAN</p> <p>59 SITE GRADING AND DRAINAGE PLAN</p> <p>60 SITE GRADING AND DRAINAGE PLAN</p> <p>61 SITE GRADING AND DRAINAGE PLAN</p> <p>62 SITE GRADING AND DRAINAGE PLAN</p> <p>63 SITE GRADING AND DRAINAGE PLAN</p> <p>64 SITE GRADING AND DRAINAGE PLAN</p> <p>65 SITE GRADING AND DRAINAGE PLAN</p> <p>66 SITE GRADING AND DRAINAGE PLAN</p> <p>67 SITE GRADING AND DRAINAGE PLAN</p> <p>68 SITE GRADING AND DRAINAGE PLAN</p> <p>69 SITE GRADING AND DRAINAGE PLAN</p> <p>70 SITE GRADING AND DRAINAGE PLAN</p> <p>71 SITE GRADING AND DRAINAGE PLAN</p> <p>72 SITE GRADING AND DRAINAGE PLAN</p> <p>73 SITE GRADING AND DRAINAGE PLAN</p> <p>74 SITE GRADING AND DRAINAGE PLAN</p> <p>75 SITE GRADING AND DRAINAGE PLAN</p> <p>76 SITE GRADING AND DRAINAGE PLAN</p> <p>77 SITE GRADING AND DRAINAGE PLAN</p> <p>78 SITE GRADING AND DRAINAGE PLAN</p> <p>79 SITE GRADING AND DRAINAGE PLAN</p> <p>80 SITE GRADING AND DRAINAGE PLAN</p> <p>81 SITE GRADING AND DRAINAGE PLAN</p> <p>82 SITE GRADING AND DRAINAGE PLAN</p> <p>83 SITE GRADING AND DRAINAGE PLAN</p> <p>84 SITE GRADING AND DRAINAGE PLAN</p> <p>85 SITE GRADING AND DRAINAGE PLAN</p> <p>86 SITE GRADING AND DRAINAGE PLAN</p> <p>87 SITE GRADING AND DRAINAGE PLAN</p> <p>88 SITE GRADING AND DRAINAGE PLAN</p> <p>89 SITE GRADING AND DRAINAGE PLAN</p> <p>90 SITE GRADING AND DRAINAGE PLAN</p> <p>91 SITE GRADING AND DRAINAGE PLAN</p> <p>92 SITE GRADING AND DRAINAGE PLAN</p> <p>93 SITE GRADING AND DRAINAGE PLAN</p> <p>94 SITE GRADING AND DRAINAGE PLAN</p> <p>95 SITE GRADING AND DRAINAGE PLAN</p> <p>96 SITE GRADING AND DRAINAGE PLAN</p> <p>97 SITE GRADING AND DRAINAGE PLAN</p> <p>98 SITE GRADING AND DRAINAGE PLAN</p> <p>99 SITE GRADING AND DRAINAGE PLAN</p> <p>100 SITE GRADING AND DRAINAGE PLAN</p>		

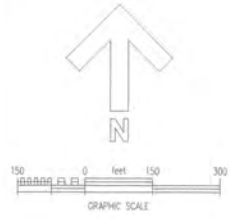
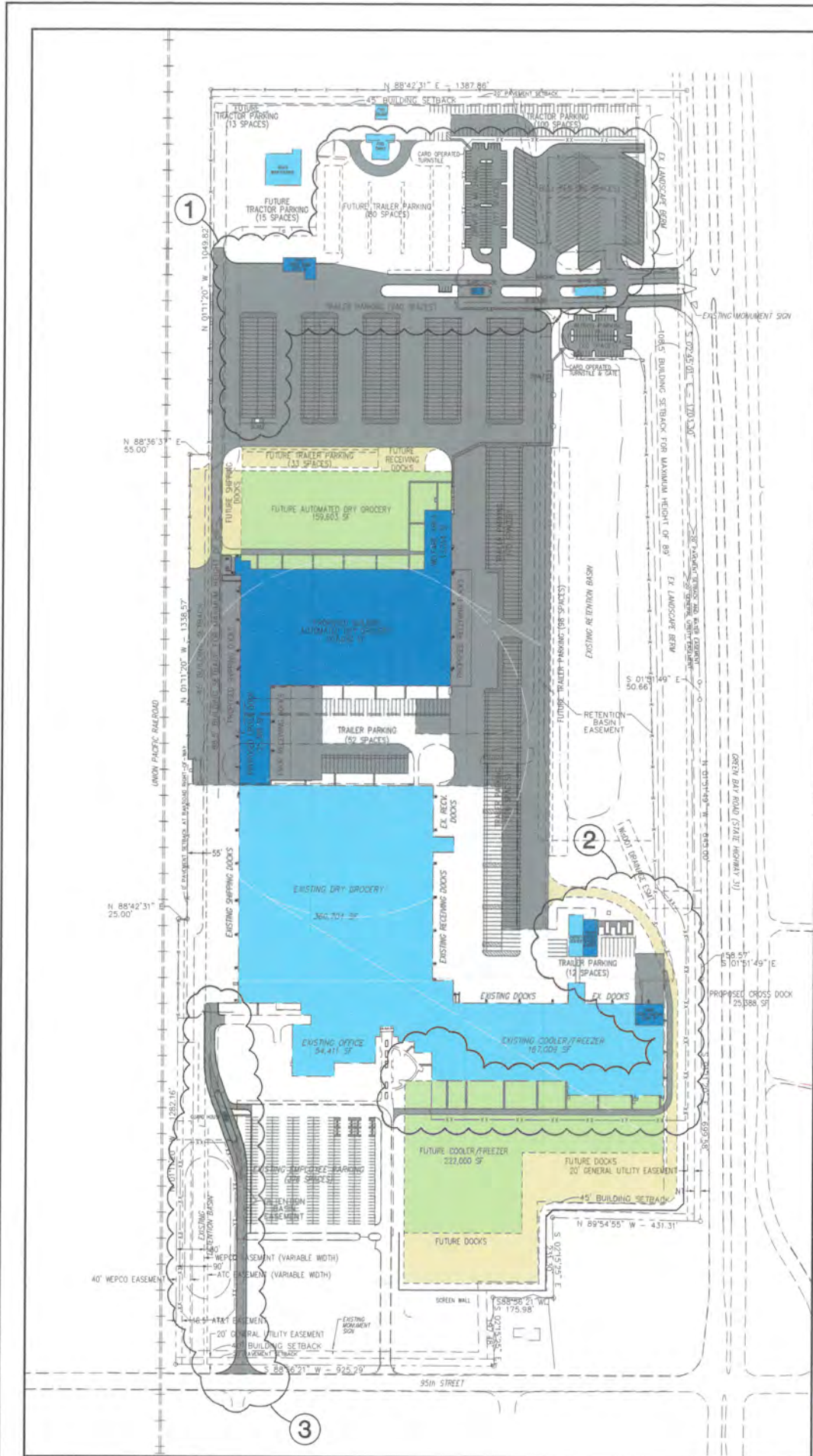
DRY GOODS STORAGE ADDITION
meijer - 872
Village of Pleasant Prairie, WI

COVER SHEET AND RELEASE LOG

JOB NUMBER
213039

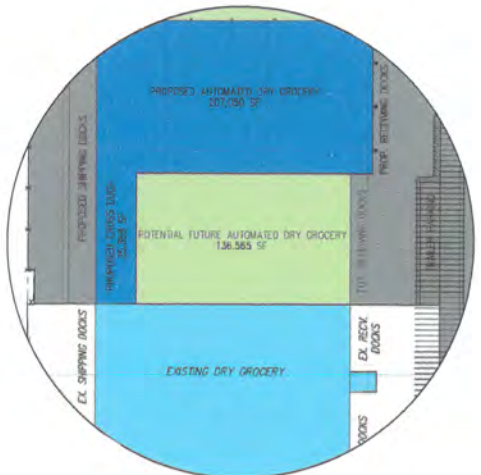
SHEET NUMBER
C-000

This sheet is a part of a set of drawings. It is not to be used in isolation. It is subject to the same terms and conditions as the entire set of drawings.



DESCRIPTION OF CHANGES FROM PREVIOUSLY APPROVED MASTER PLAN

- ① SHIFTED DRIVER & MECHANIC PARKING TO THE WEST SIDE OF THE BULL PEN.
 MOVED BULL PEN TO EAST SIDE OF DRIVER & MECHANIC PARKING, INCREASED SIZE FROM 50 TO 80 AND RECONFIGURED FOR ONE-WAY TRAFFIC.
 ADDED LOOP ROAD ALONG SOUTH SIDE OF FUEL TANKS TO PROVIDE MEANS FOR TRACTORS WITH TRAILERS ATTACHED TO FUEL AND TURN AROUND.
 MOVED TRUCK WASH TO NORTH SIDE OF PAVEMENT DUE SOUTH OF THE TRUCK MAINTENANCE BUILDING.
 ADDED 48 TRAILER PARKING SPACES AT THE WEST END OF THE NORTH TRAILER LOT.
 MOVED SCALE TO SOUTH END OF ADDITIONAL TRAILER SPACES DESCRIBED ABOVE.
 ADDED NEW GUARD HOUSE DUE WEST OF THE EXISTING GUARD HOUSE. EXISTING GUARD HOUSE WILL BE DEMOLISHED.
 ADDED PARKING SPACES WEST OF NEW GUARD HOUSE AND CROSSOVERS IN ISLAND EAST OF GUARD HOUSE.
 ADDED STRIPING FOR TRAILER SPACES EAST AND WEST OF ENERGY CENTER.
 ADDED FIRE LOOP ROAD AROUND EAST AND SOUTH SIDE OF EXISTING COOLER/FREEZER. ALSO ADDED SIDEWALKS TO EGRESS DOORS AROUND THE BUILDING.
- ② EXPANDED EXISTING ENERGY CENTER AND ADDED GENERATORS EAST OF THE ADDITION.
 EXTENDED DOCK AREA AT NORTHEAST CORNER OF EXISTING COOLER/FREEZER AND ADDED PAVEMENT FOR MANEUVERING AREA.
 ADDED ACCESS ROAD FROM EXISTING WEST DOCK AREA TO 95th STREET, INCLUDING GUARD HOUSE AND INBOUND ENTRANCE FROM EXISTING PARKING LOT.
 MODIFICATION OF EXISTING DETENTION BASIN AT SOUTHWEST CORNER OF SITE TO PROVIDE RETENTION FOR WATER QUALITY IMPROVEMENT.
- ③



PARKING SUMMARY			
PHASE 1 (CURRENT SCOPE)			
TEAM MEMBER & LUMPER	- 376 SPACES (16 HC)		
DRIVER & MECHANIC	- 117 SPACES		
WITRON PARKING	- 60 SPACES (2 HC)		
TRACTOR	- 100 SPACES		
DROP TRAILER (INSIDE FENCE)	- 500 SPACES		
BULL PEN (OUTSIDE FENCE)	- 80 SPACES		
PHASE 2 (FUTURE)			
TEAM MEMBER & LUMPER	- 376 SPACES (16 HC)		
DRIVER & MECHANIC	- 117 SPACES		
WITRON PARKING	- 60 SPACES (2 HC)		
TRACTOR	- 128 SPACES		
DROP TRAILER (INSIDE FENCE)	- 711 SPACES		
(659 IF 136,565 SF ADDITION IS CONSTRUCTED)			
BULL PEN (OUTSIDE FENCE)	- 80 SPACES		

ZONING CODE SUMMARY	
ZONING DISTRICT:	M-2, GENERAL MANUFACTURING
LOT SIZE:	119.51 ACRES
OPEN SPACE (25% MINIMUM REQUIRED):	EXISTING - 68.3% PROPOSED - 44.1% FUTURE - 29.6%
PROPOSED BUILDING HEIGHT:	89 FT MAX (AT NORTHWEST CORNER) 20 FT MIN (AT WELFARE AREA) ONE STORY
BUILDING SIZE:	EXISTING - 604,182 SQ FT PROPOSED - 260,759 SQ FT FUTURE - 381,803 SQ FT
BUILDING SETBACK:	108.50 FT FROM ARTERIAL STREETS 88.50 FT FROM SIDE AND REAR LOT LINES
PARKING / PAVEMENT SETBACK:	20 FT FROM STREET RIGHT-OF-WAY AND LOT LINES 0 FT FROM RAILROAD RIGHT-OF-WAY
PARKING SPACE REQUIREMENTS:	OFFICE 1 SPACE PER 250 SQ FT OF FLOOR AREA WAREHOUSE / DISTRIBUTION 1 SPACE PER 2 EMPLOYEES DURING ANY 12-HOUR PERIOD

DEVELOPMENT LEGEND	
COLOR	DESCRIPTION
	EXISTING BUILDINGS
	PROPOSED BUILDING ADDITION
	FUTURE BUILDING
	EXISTING PAVEMENT
	PROPOSED NEW OR RECONSTRUCTED PAVEMENT
	FUTURE PAVEMENT

DOC. REL. #	DATE	DESCRIPTION	DOC. REL. #	DATE	DESCRIPTION
3	05/16/13	SIZE DESIGN REVIEW			
5	06/21/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

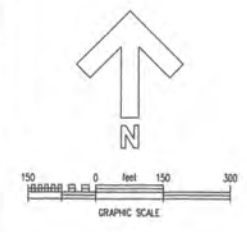
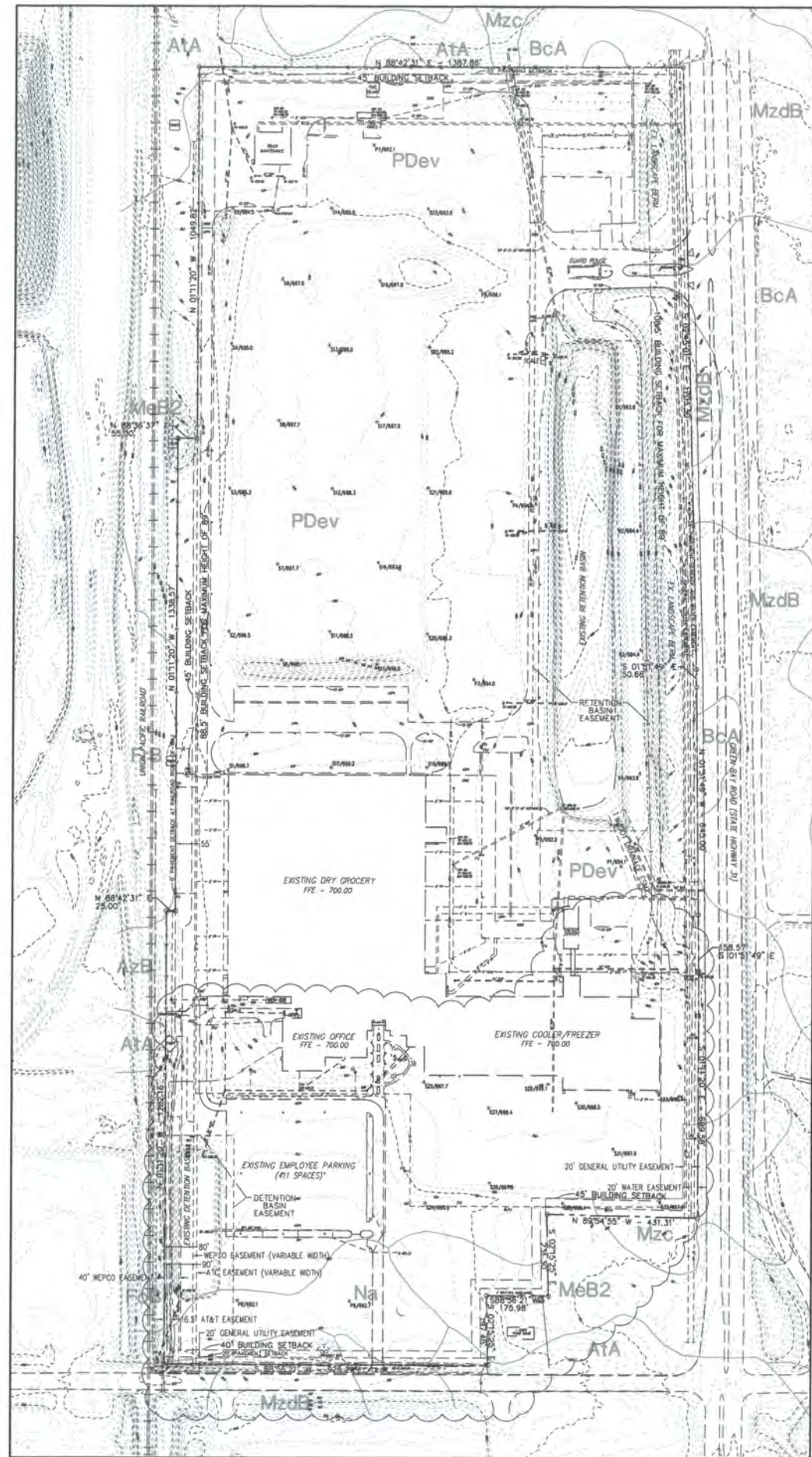
Gray
 10 Quality Street
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 Telephone: (859) 291-4000
 Facsimile: (859) 252-5300
 Lancaster, KY - Bowling Green, KY
 Birmingham, AL

TERRY SHAW, P.E.
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 859-548-2251
 COA NO. 3760-11

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI
SITE DEVELOPMENT MASTER PLAN

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI
SITE DEVELOPMENT MASTER PLAN

Job Number: 213039
 Sheet Number: C-001



- GENERAL NOTES:**
1. MAP PROVIDED FOR REFERENCE ONLY
 2. EXISTING TOPOGRAPHY AND BOUNDARY IS BASED UPON INFORMATION PROVIDED BY SPACECO, INC., DATED 10/11/12. ANY DISCREPANCY BETWEEN INFORMATION ON THIS MAP AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF GRAY'S SITE MANAGER.
 3. EXISTING CONTOURS ARE BASED UPON A FIELD SURVEY COMPLETED BY YAGGY COLBY ASSOCIATES ON 1/18/13. ANY DISCREPANCY BETWEEN INFORMATION ON THIS MAP AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF GRAY'S SITE MANAGER.
 4. THE PRESENCE AND LOCATION OF EXISTING UTILITIES SHOWN ON THIS MAP ARE BASED UPON RECORD CONSTRUCTION DRAWINGS, SURFACE EVIDENCE AND INFORMATION PROVIDED BY SPACECO, INC. DATED 10/11/12. THE GRADING CONTRACTOR SHALL TAKE ALL POSSIBLE CARE NOT TO DISTURB ANY UTILITY WHETHER SHOWN ON THESE PLANS OR NOT. DAMAGE TO ANY UTILITY RESULTING FROM GRADING OPERATIONS SHALL BE REPAIRED TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANY AT NO ADDITIONAL COST TO THE OWNER.
 5. HORIZONTAL CONTROL IS BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. VERTICAL CONTROL IS BASED ON NVD 1929.

SITE LEGEND	
SYMBOLS	DESCRIPTION
---	EXISTING/PROPOSED PROPERTY LINE
- - - -	EXISTING CONTOUR
X 87.5	EXISTING SPOT ELEVATION
---	EXISTING TREELINE
- - - -	EXISTING DOMESTIC WATER
- - - -	EXISTING SANITARY SEWER (GRAVITY)
- - - -	EXISTING GAS MAIN
- - - -	EXISTING FIRE PROTECTION
- - - -	EXISTING OVERHEAD ELECTRIC
- - - -	EXISTING UNDERGROUND ELECTRIC
- - - -	EXISTING UNDERGROUND TELEPHONE
□ P/P	EXISTING POWER/TELEPHONE POLE
○ GW	EXISTING GUY WIRE
□ LP	EXISTING LIGHT POLE
○ FH	EXISTING FIRE HYDRANT
○ PIV	EXISTING POST INDICATOR VALVE
+	EXISTING UNDERGROUND UTILITY MARKER
- - - -	EXISTING FENCE

EXISTING TOPOGRAPHY/PLANIMETRICS IS REPRESENTED WITH DASHED LINES AND LABELED WITH SLANTED TEXT

DOC. REL. #	DATE	DESCRIPTION	DOC. REL. #	DATE	DESCRIPTION
3	05/16/13	SOE DESIGN REVIEW			
4	06/07/13	SOE DESIGN REVIEW			
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

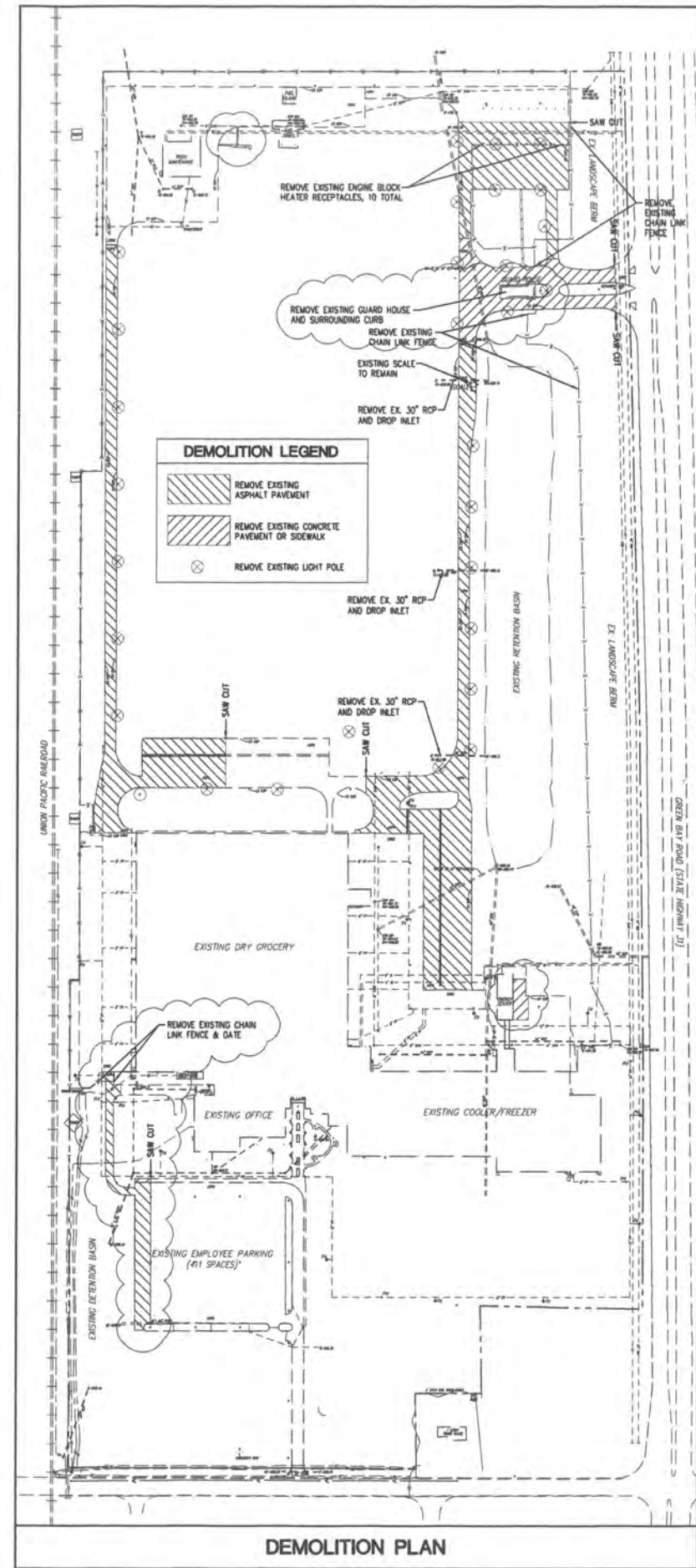
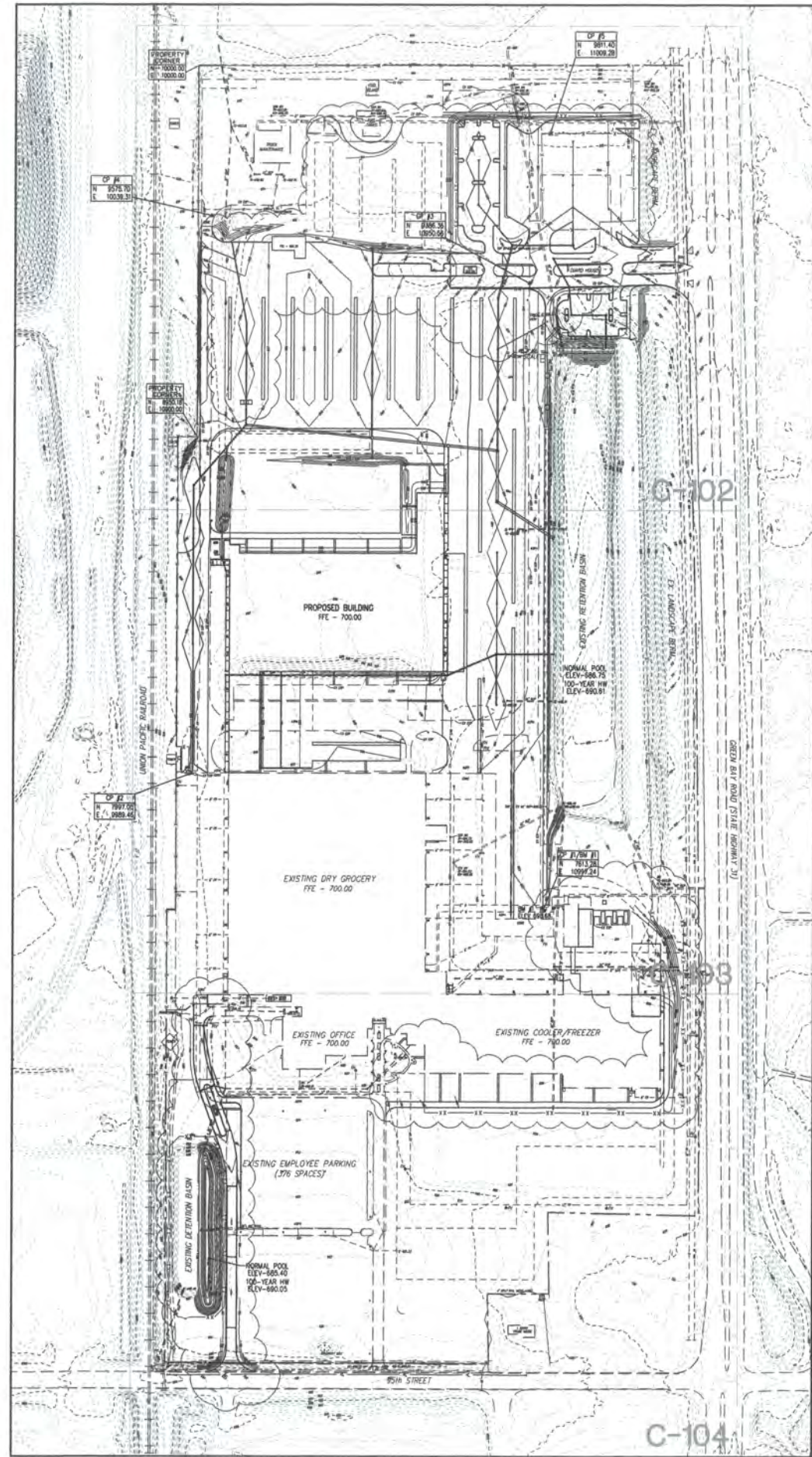
19 Quality Street
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 Birmingham, AL

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 COA NO. 3760-11

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI

SITE BOUNDARY AND TOPOGRAPHIC MAP

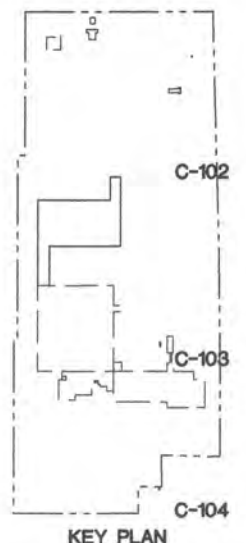
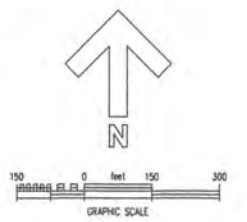
SOIL TYPES			
DESCRIPTION	HSG	DESCRIPTION	HSG
ATA - Ashum Silty Clay Loom	B/D	MeB2 - Markham Silt Loom	C
0 to 3 Percent Slopes		2 to 6 Percent Slopes, Eroded	
AzA - Aztalon Loom	C	MzC - Montgomery Silty Clay	D
0 to 2 Percent Slopes		MzdB - Morley Silt Loom	C
AzB - Aztalon Loom	C	2 to 6 Percent Slopes	
2 to 6 Percent Slopes		No - Navan Silt Loom	D
BcA - Beecher Silt Loom	C	So - Sebawa Silt Loom	B/D
1 to 3 Percent Slopes		Clayey Substratum	
FoB - Fox Loom	B	PDev - Previously Developed	D
2 to 6 Percent Slopes		All on site soils are classified as sandy	
HeB2 - Hebron Loom	B	clay, silty clay or clay due to previous	
2 to 6 Percent Slopes, Eroded		heavy grading and soil boring identification	
FrB - Fox Loom	B	(unless noted otherwise)	
Clayey Substratum, 2 to 6 Percent Slopes			



SITE LEGEND	
SYMBOLS	DESCRIPTION
---	EXISTING/PROPOSED PROPERTY/RIGHT-OF-WAY LINE
D/D	PROPOSED DROP OR CURB - TYPE I
D/D	PROPOSED DROP OR CURB INLET - TYPE II
FES	PROPOSED CONCRETE FLARED END SECTION
MH	PROPOSED MANHOLE
12" x 12" x 8"	PROPOSED STORM PIPING
---	DOMESTIC WATER
---	FIRE PROTECTION
SAN	SANITARY SEWER (GRAVITY)
PS	PRESSURE SEWER
OE	OVERHEAD ELECTRIC
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
G	GAS
PP	POWER POLE
GW	GUY WIRE
LP	LIGHT POLE
FH	FIRE HYDRANT
PV	POST INDICATOR VALVE
DV	GATE VALVE
TP	TELEPHONE PEDESTAL
X	EXISTING FENCE
XX	PROPOSED CHAINLINK FENCE
---	EXISTING TREE LINE
---	EXISTING WATER SURFACE ELEVATION

- NOTES**
- ALL CUT/FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS NOTED OTHERWISE.
 - ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS NOTED AS TOC (TOP OF CURB).
 - REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING CRUSHED STONE BASE AND SLAB THICKNESS WITHIN THE BUILDING.

- ABBREVIATIONS**
- ASPH - ASPHALT PAVEMENT
 - BH - BORE HOLE
 - CI - CURB INLET
 - CONC - CONCRETE PAVEMENT
 - DI - DROP INLET
 - EDP - EDGE OF PAVEMENT
 - FL - FLOW LINE (INVERT/BOTTOM DRAINAGE STRUCTURE)
 - IE - INLET ELEVATION (INVERT/BOTTOM OF PIPE INLET)
 - HW - HEADWALL
 - MH - MANHOLE
 - MAX - MAXIMUM
 - MIN - MINIMUM
 - OR - OUTLET ELEVATION (INVERT/BOTTOM OF PIPE OUTLET)
 - OB - DETENTION BASIN OUTLET STRUCTURE
 - TOC - TOP OF CURB
 - TOW - TOP OF WALL
 - TYP - TYPICAL



DOC. REL. #	DATE	DESCRIPTION	DOC. REL. #	DATE	DESCRIPTION
3	05/16/13	SOE DESIGN REVIEW			
4	06/07/13	SOE DESIGN REVIEW			
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

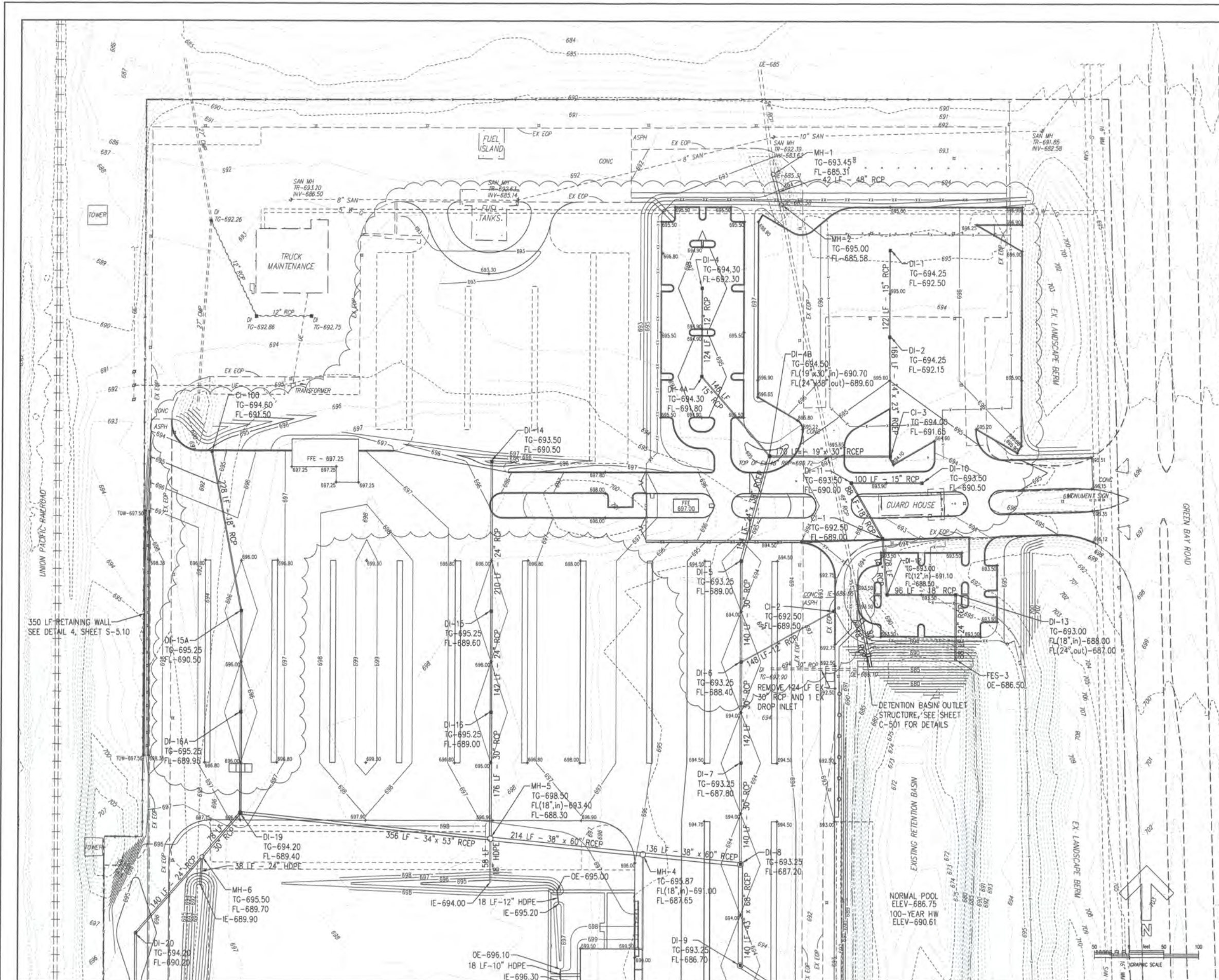
Gray
 10 Quality Street
 Lenoir County, NC 28540-4600
 Telephone: (888) 271-6000
 Facsimile: (859) 252-5000
 Lexington, KY - Bowling Green, KY
 Birmingham, AL

TERRY SHAW, P.E.
 100 HUNTER DRIVE
 LANCASTER, KY 40444
 859-548-2251
 COA NO. 3760-11

meijer - 872
 Village of Pleasant Prairie, WI

PLEASANT PRAIRIE GROCERY RENOVATION
SITE GRADING AND DRAINAGE PLAN

JOB NUMBER: 213039
 SHEET NUMBER: C-101



MATCH LINE SHEET C-103

DESC. REL. #	DATE	DESCRIPTION	DESC. REL. #	DATE	DESCRIPTION
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2					
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4	06/07/13	RVC DESIGN REVIEW			
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

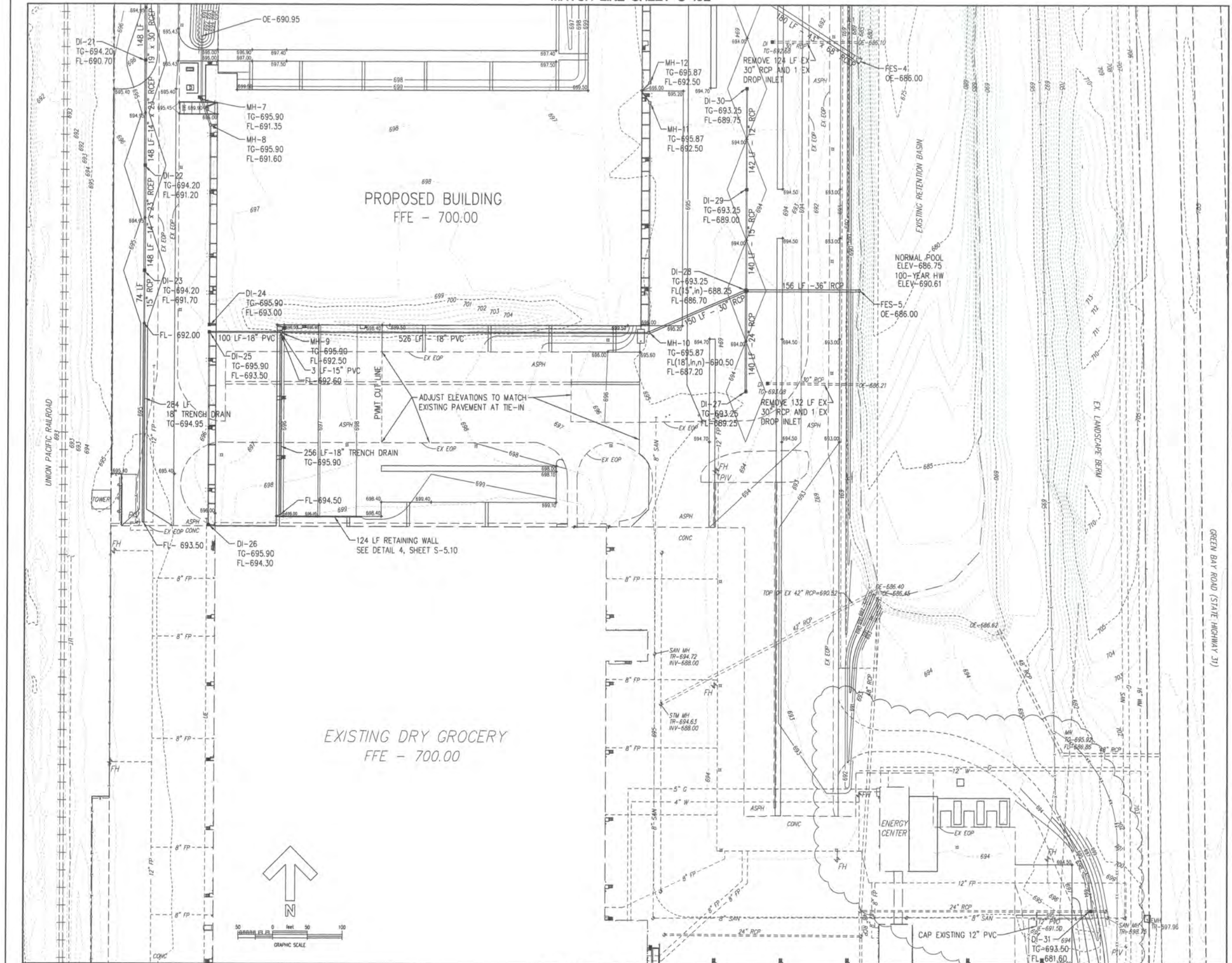


10 Quality Street
 Lexington, Kentucky 40502
 Fax: (606) 252-5306
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 Birmingham, AL

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 COA NO. 3760-11

PLEASEANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI

ENLARGED SITE GRADING AND DRAINAGE PLAN



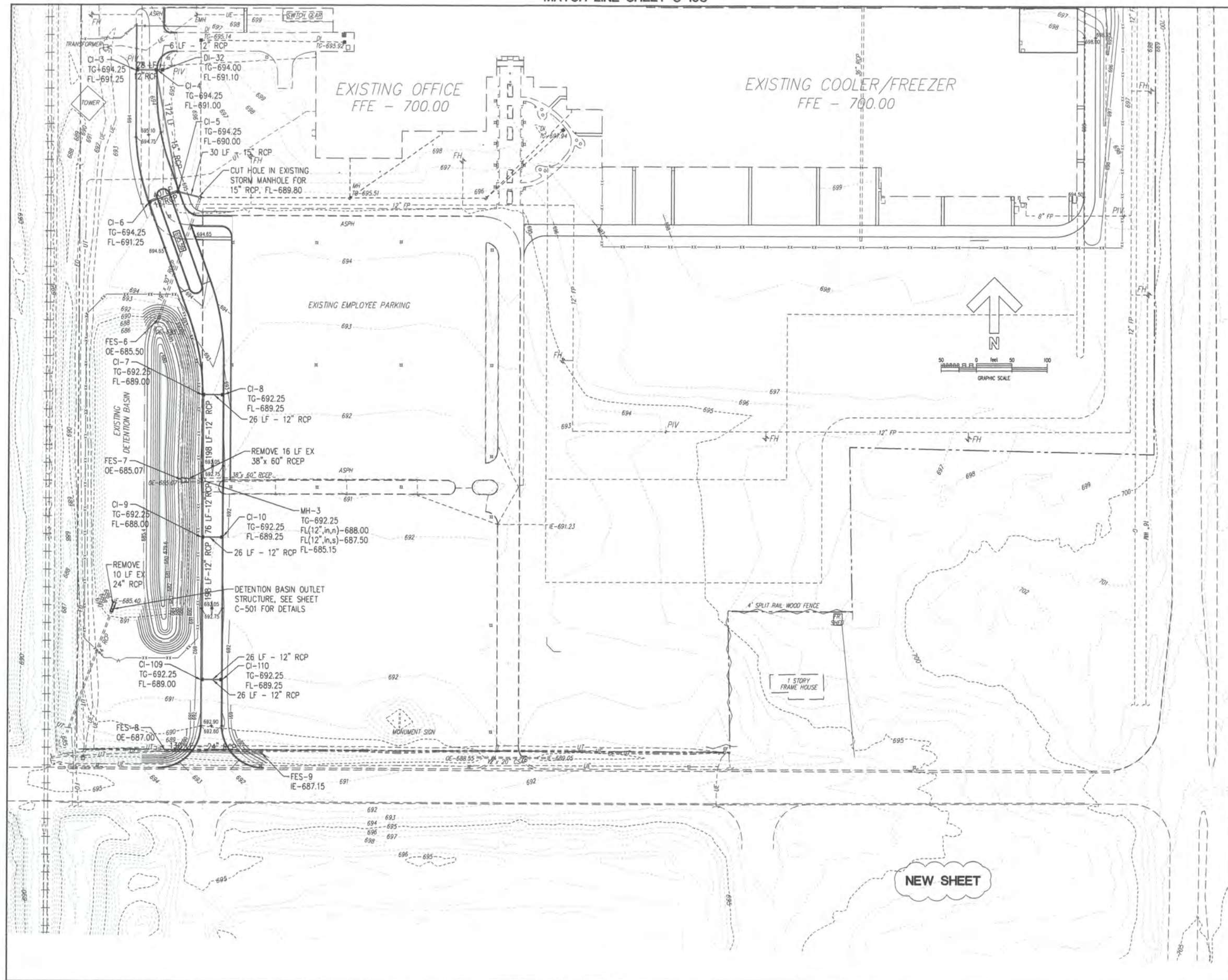
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3	05/16/13	50% DESIGN REVIEW			
4	06/07/13	90% DESIGN REVIEW			
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

10 Quality Street
 Lanham, MD 20655
 Telephone: (800) 281-0090
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 Birmingham, AL

TERRY SHAW, P.E.
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 LANCASTER, KY 40444
 859-548-2251
 COA NO. 3760-11

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI

ENLARGED SITE GRADING AND DRAINAGE PLAN



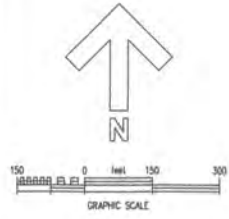
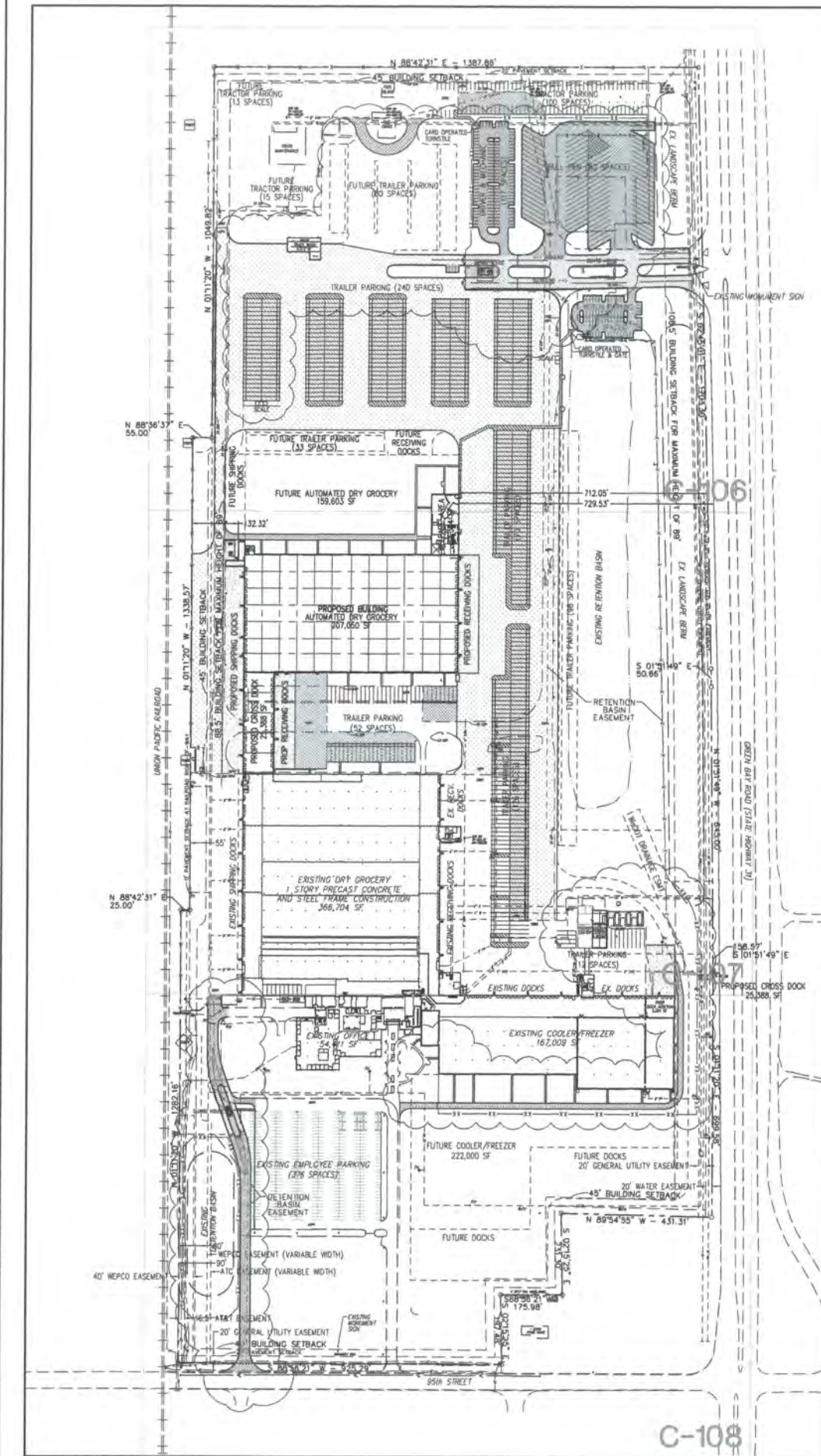
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3	05/16/13	SUR DESIGN REVIEW			
4	06/07/13	REV DESIGN REVIEW			
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

10 Quality Street
 Birmingham, AL 35202-4400
 Telephone: (858) 281-0000
 Facsimile: (858) 252-2000
 Lexington, KY - Bowling Green, KY
 Birmingham, AL

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 859-548-2251
 COA NO. 3760-11

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI

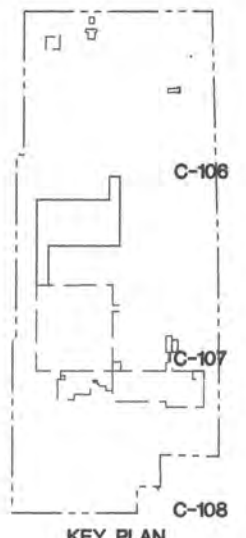
ENLARGED SITE GRADING AND DRAINAGE PLAN



NOTES
 1. ALL DIMENSIONS ARE TO OUTSIDE FOUNDATION/BUILDING WALL, GUTTER LINE OR EDGE OF PAVEMENT

PAVEMENT LEGEND	
PATTERN	DESCRIPTION
[Pattern]	HEAVY DUTY ASPHALT - TYPE I
[Pattern]	HEAVY DUTY ASPHALT - TYPE II
[Pattern]	HEAVY DUTY ASPHALT - TYPE III
[Pattern]	HEAVY DUTY ASPHALT - TYPE IV
[Pattern]	LIGHT DUTY ASPHALT
[Pattern]	8" NON-REINFORCED CONCRETE
[Pattern]	12" REINFORCED CONCRETE
[Pattern]	4" CONCRETE SIDEWALK

SITE LEGEND	
SYMBOLS	DESCRIPTION
[Symbol]	EXISTING/PROPOSED PROPERTY/RIGHT-OF-WAY LINE
[Symbol]	PROPOSED DROP OR CURB - TYPE I
[Symbol]	PROPOSED DROP OR CURB INLET - TYPE II
[Symbol]	PROPOSED CONCRETE FLARED END SECTION
[Symbol]	PROPOSED MANHOLE
[Symbol]	PROPOSED STORM PIPING
[Symbol]	DOMESTIC WATER
[Symbol]	FIRE PROTECTION
[Symbol]	SANITARY SEWER (GRAVITY)
[Symbol]	PRESSURE SEWER
[Symbol]	OVERHEAD ELECTRIC
[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	UNDERGROUND TELEPHONE
[Symbol]	GAS
[Symbol]	POWER POLE
[Symbol]	GLYX MIRE
[Symbol]	LIGHT POLE
[Symbol]	FIRE HYDRANT
[Symbol]	POST INDICATOR VALVE
[Symbol]	GATE VALVE
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED CHAINLINK FENCE
[Symbol]	EXISTING TREE LINE
[Symbol]	EXISTING WATER SURFACE ELEVATION



DOC. REL. #	DATE	DESCRIPTION	DESC. REL. #	DATE	DESCRIPTION
1	03/07/13	PROPOSAL DOCUMENTS			
2	03/08/13	871 / 872 PHASING EXHIBIT			
3	05/16/13	30% DESIGN REVIEW			
4	06/07/13	30% DESIGN REVIEW			
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

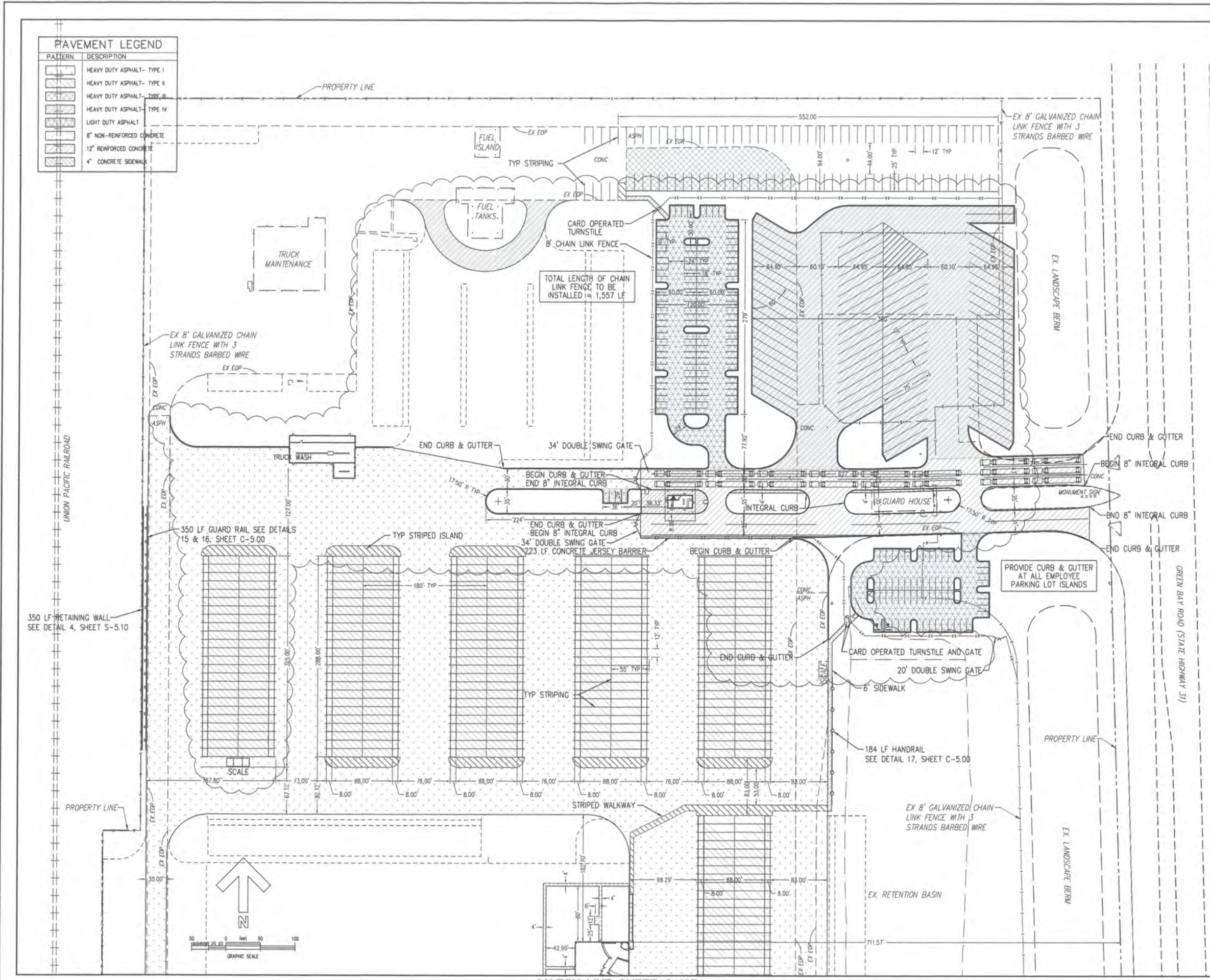
Gray
 10 Quality Street
 Birmingham, AL 35203
 Telephone: (858) 291-5000
 Facsimile: (858) 252-5308
 Birmingham, KY - Bowling Green, KY
 Birmingham, AL

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 859-548-2251
 COA NO. 3760-11

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 Village of Pleasant Prairie, WI

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI
SITE LAYOUT PLAN

PATTERN	DESCRIPTION
[Pattern]	HEAVY DUTY ASPHALT - TYPE I
[Pattern]	HEAVY DUTY ASPHALT - TYPE II
[Pattern]	HEAVY DUTY ASPHALT - TYPE III
[Pattern]	HEAVY DUTY ASPHALT - TYPE IV
[Pattern]	LIGHT DUTY ASPHALT
[Pattern]	6" NON-REINFORCED CONCRETE
[Pattern]	12" REINFORCED CONCRETE
[Pattern]	4" CONCRETE SIDEWALK



DOC. REL. #	DATE	DESCRIPTION	DATE	DESCRIPTION
3	05/16/13	50% DESIGN REVIEW		
4	06/07/13	90% DESIGN REVIEW		
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL		

Gray

10 Quality Street
 Birmingham, AL 35203-1400
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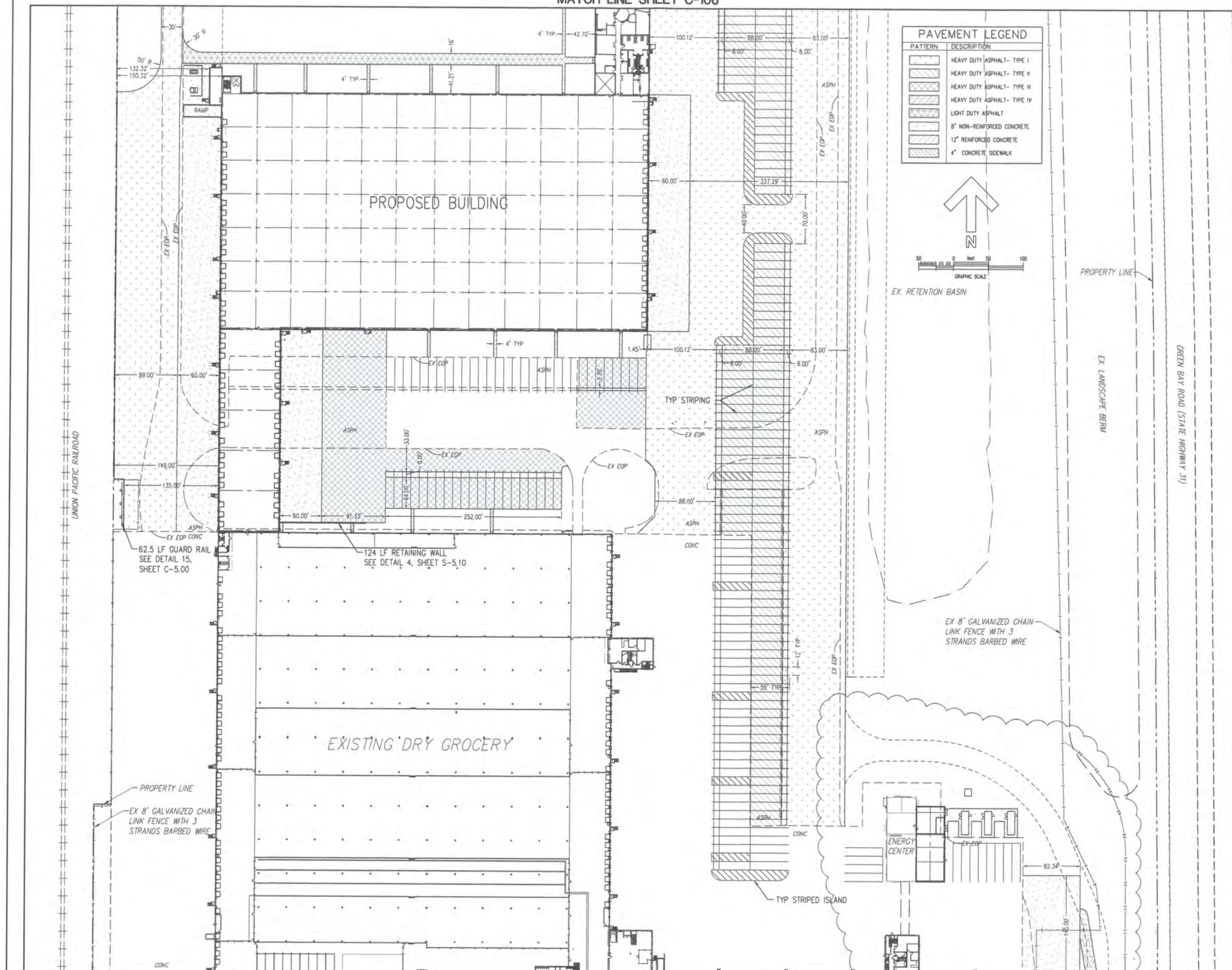
TERRY SHAW, P.E.
 100 HUNTER DRIVE
 LANCASTER, KY 40444
 859-648-2251
 COA NO. 3760-11

PLEASENANT PRAIRIE GROCERY RENOVATION

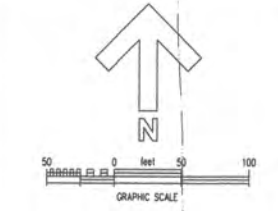
meijer - 872
 Village of Pleasant Prairie, WI

ENLARGED SITE LAYOUT PLAN

SHEET NUMBER	SHEET NUMBER
213039	C-106



PATTERN	DESCRIPTION
[Pattern]	HEAVY DUTY ASPHALT- TYPE I
[Pattern]	HEAVY DUTY ASPHALT- TYPE II
[Pattern]	HEAVY DUTY ASPHALT- TYPE III
[Pattern]	HEAVY DUTY ASPHALT- TYPE IV
[Pattern]	LIGHT DUTY ASPHALT
[Pattern]	8" NON-REINFORCED CONCRETE
[Pattern]	12" REINFORCED CONCRETE
[Pattern]	4" CONCRETE SIDEWALK



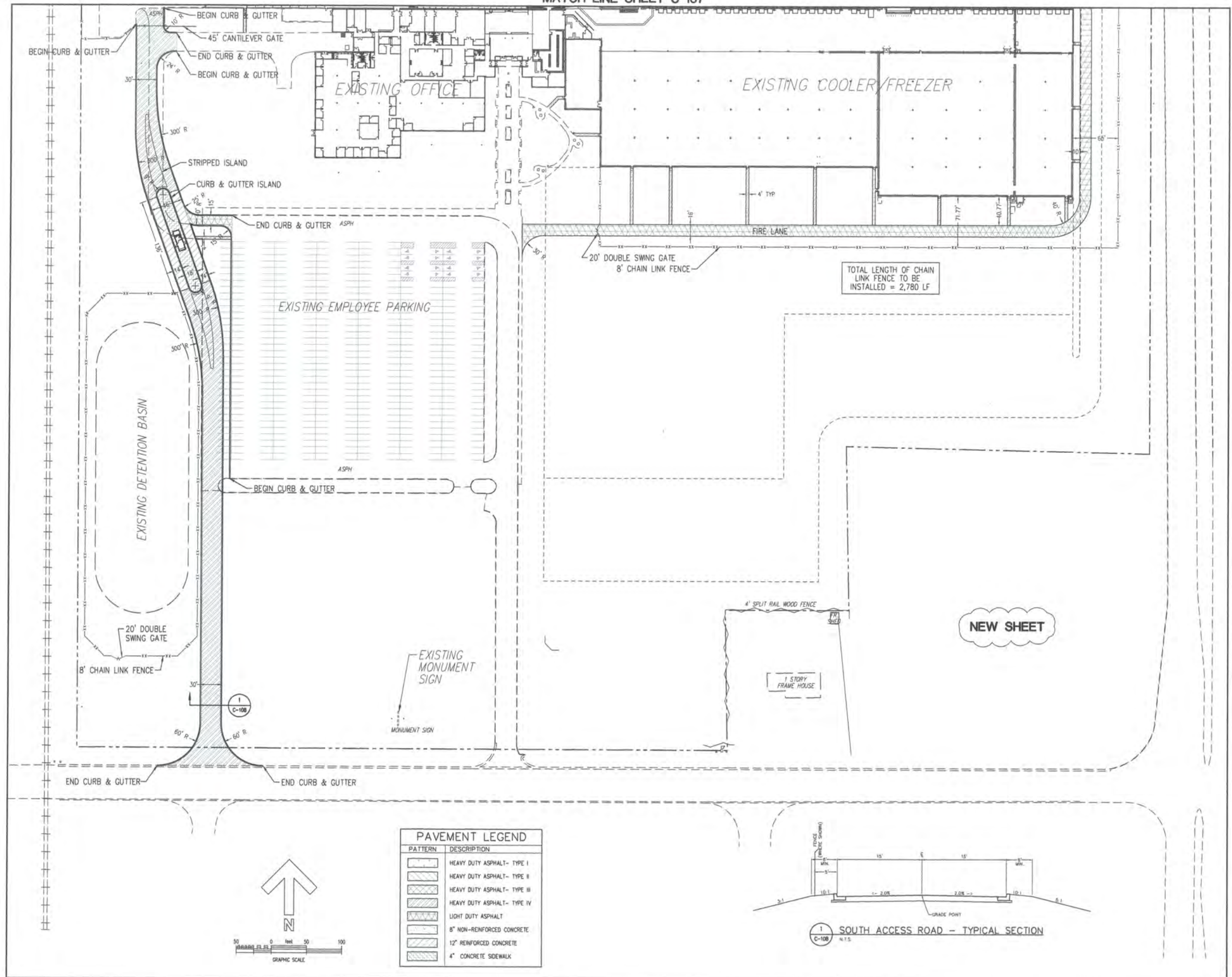
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4	06/07/13	90% DESIGN REVIEW			
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

Gray
 19 Quality Street
 Lexington, Kentucky 40507-4500
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 Birmingham, AL

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 859-548-2251
 COA NO. 3760-11

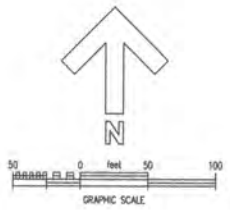
PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI
ENLARGED SITE LAYOUT PLAN

JOB NUMBER: 213039
 SHEET NUMBER: C-107

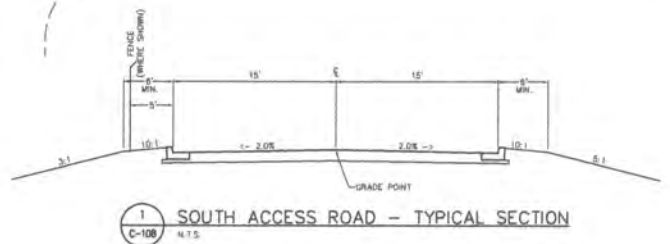


TOTAL LENGTH OF CHAIN LINK FENCE TO BE INSTALLED = 2,780 LF

NEW SHEET



PATTERN	DESCRIPTION
[Pattern]	HEAVY DUTY ASPHALT- TYPE I
[Pattern]	HEAVY DUTY ASPHALT- TYPE II
[Pattern]	HEAVY DUTY ASPHALT- TYPE III
[Pattern]	HEAVY DUTY ASPHALT- TYPE IV
[Pattern]	LIGHT DUTY ASPHALT
[Pattern]	8" NON-REINFORCED CONCRETE
[Pattern]	12" REINFORCED CONCRETE
[Pattern]	4" CONCRETE SIDEWALK



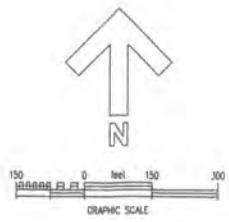
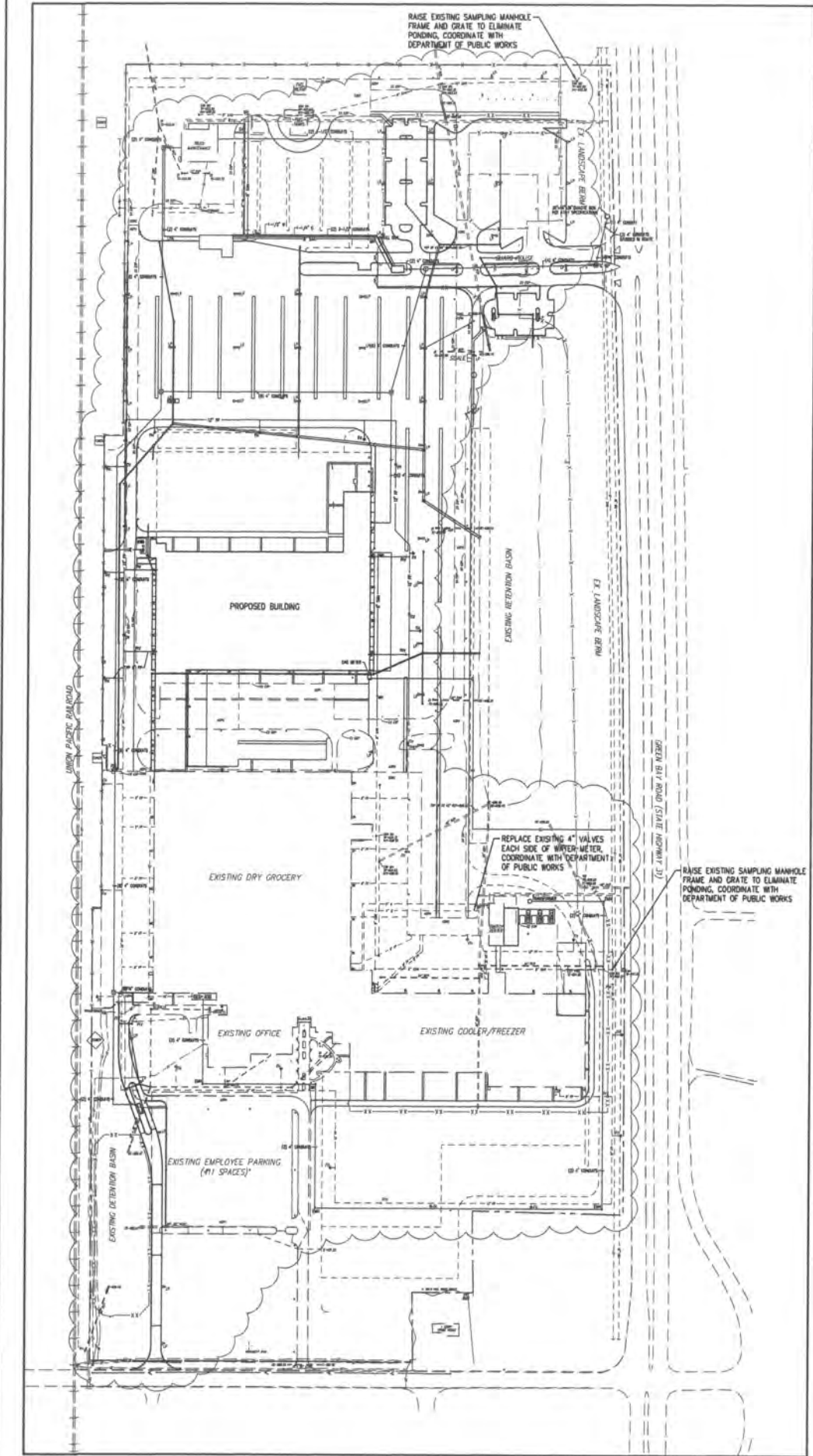
DOC. REL. #	DATE	DESCRIPTION	DOC. REL. #	DATE	DESCRIPTION
3	05/16/13	SUR DESIGN REVIEW			
4	06/07/13	90% DESIGN REVIEW			
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

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 859-548-2251
 COA NO. 3760-11

meijer - 872
 Village of Pleasant Prairie, WI

PLEASANT PRAIRIE GROCERY RENOVATION
ENLARGED SITE LAYOUT PLAN



- NOTES**
1. THIS DRAWING IS PROVIDED FOR UTILITY COORDINATION AND LOCATION ONLY.
 2. REFER TO MECHANICAL, PLUMBING, ELECTRICAL, TELECOM, SECURITY AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL DETAILS.
 3. REFER TO SHEETS C-110, 111 AND 509 FOR SANITARY SEWER DETAILS.

SITE LEGEND	
SYMBOLS	DESCRIPTION
—	EXISTING/PROPOSED PROPERTY/RIGHT-OF-WAY LINE
⊙	PROPOSED DROP OR CURB - TYPE I
⊙	PROPOSED DROP OR CURB INLET - TYPE II
⊕	PROPOSED CONCRETE FLARED END SECTION
⊙	PROPOSED MANHOLE
—	PROPOSED STORM PIPING
—	DOMESTIC WATER
—	FIRE PROTECTION
—	SANITARY SEWER (GRAVITY)
—	MESURE SEWER (EXISTING UTILITIES SHOWN DASHED, PROPOSED UTILITIES SHOWN SOLID)
—	OVERHEAD ELECTRIC
—	UNDERGROUND ELECTRIC
—	UNDERGROUND TELEPHONE
—	GAS
⊙	POWER POLE
⊙	GUY WIRE
⊙	LIGHT POLE
⊙	FIRE HYDRANT
⊙	POST INDICATOR VALVE
⊙	GATE VALVE
⊙	TELEPHONE PEDESTAL
—	EXISTING FENCE
—	PROPOSED CHAINLINK FENCE
—	EXISTING TREE LINE
—	EXISTING WATER SURFACE ELEVATION

EXISTING TOPOGRAPHY/PLANNIMETRICS IS REPRESENTED WITH DASHED LINES AND LABELED WITH SLANTED TEXT

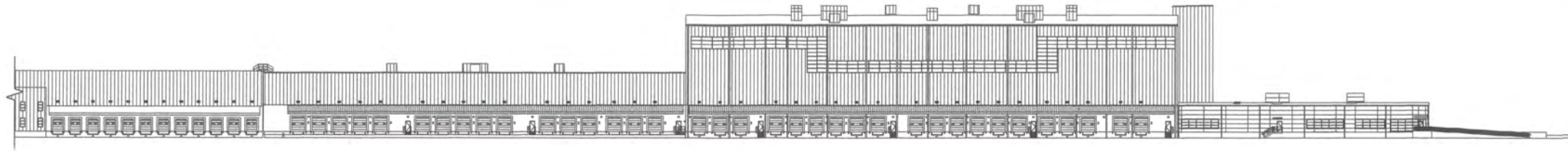
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5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

16 Quality Street
 Louisville, KY 40202-1400
 Telephone: (502) 261-5000
 Facsimile: (502) 252-5300
 Lexington, KY - Bowling Green, KY
 Birmingham, AL

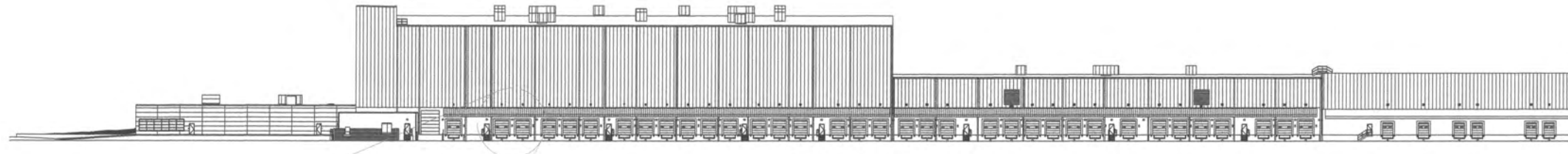
TERRY SHAW, P.E.
 1100 HUNTER DRIVE
 LANCASTER, KY 40444
 859-548-2251
 COA NO. 3760-11

meijer
 Village of Pleasant Prairie, WI

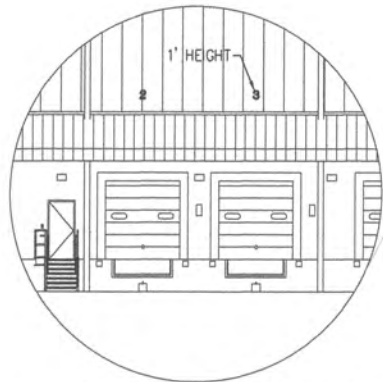
PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI
COMPOSITE SITE UTILITY PLAN



EAST ELEVATION
NTA

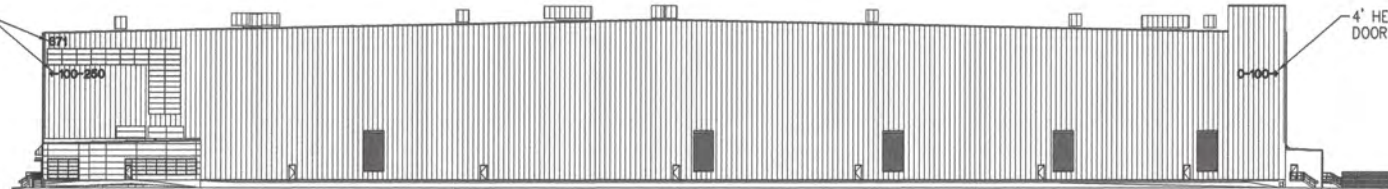


WEST ELEVATION
NTA



TYPICAL DOCK DOOR NUMBERS
NTA

4' HEIGHT BUILDING AND DOCK DOOR DIRECTION



4' HEIGHT DOCK DOOR DIRECTION

NORTH ELEVATION
NTA



95th STREET MONUMENT SIGN
NTA



GREEN BAY ROAD MONUMENT SIGN
NTA

NOTES

1. REPLACE SUPERVALU LOGO WITH MEIJER LOGO.
2. REPLACE MIDWEST REGION WITH WESTERN DISTRIBUTION.
3. REMOVE PLEASANT PRAIRIE DISTRIBUTION CENTER.
4. REMOVE REGIONAL OFFICE (95th STREET ENTRANCE).
5. FILL HOLES FROM LETTER REMOVAL. REPAIR AS REQUIRED AND PAINT.

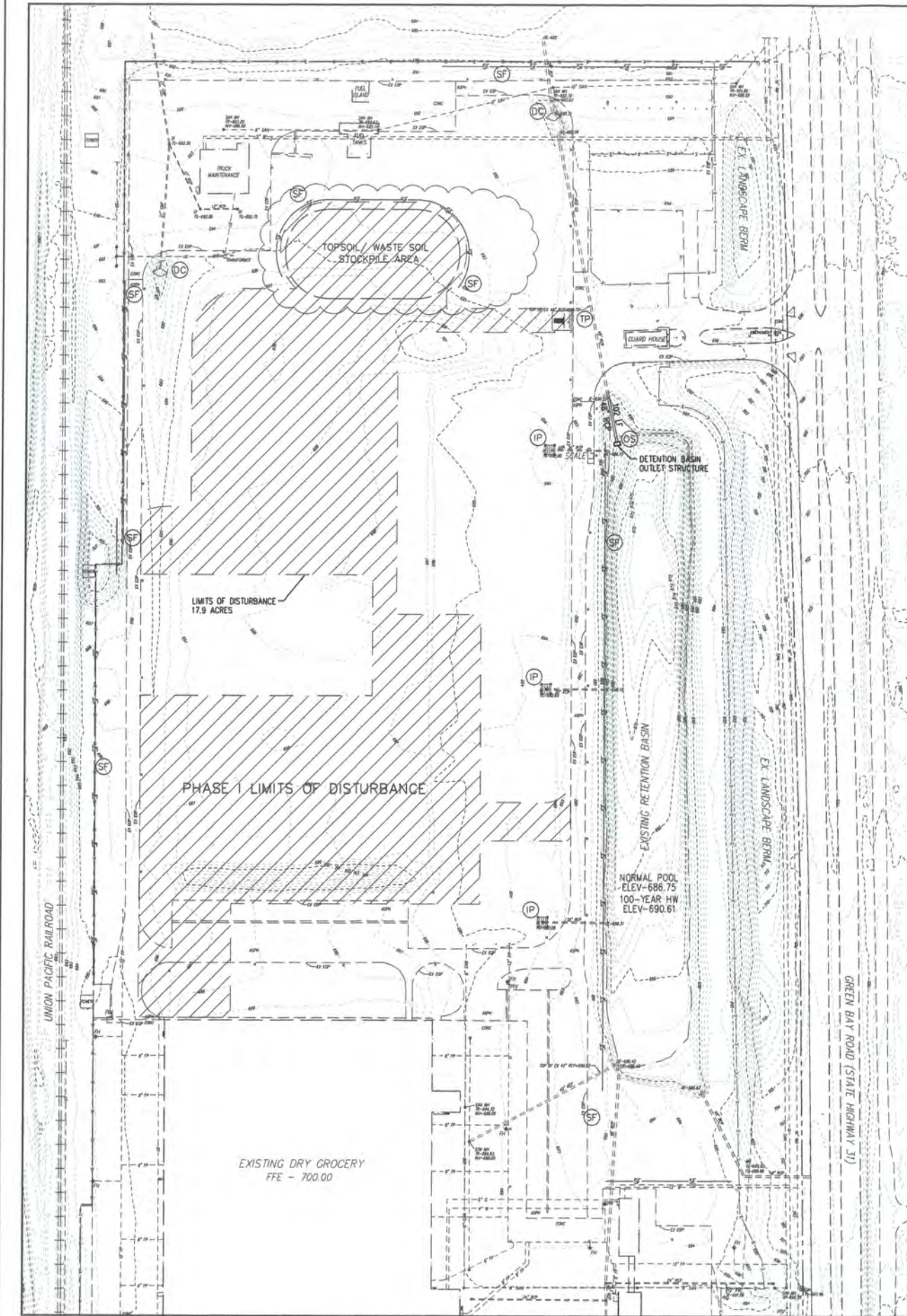
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Gray
19 Quality Street
Lansington, Kentucky 40307-1450
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Fax: (502) 252-5309
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Birmingham, AL

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859-548-2251
COA NO. 3760-11

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
Village of Pleasant Prairie, WI

SITE SIGNAGE PLAN



CONSTRUCTION SEQUENCE

1. INSTALL STONE TRACKING PAD.
2. INSTALL SILT FENCE AND STONE DITCH CHECKS.
3. INSTALL STORM DRAIN INLET PROTECTION AT EXISTING DROP INLETS.
4. BEGIN TOPSOIL STRIPPING, EXISTING PAVEMENT REMOVAL AND GRADING FOR BUILDING CONSTRUCTION ONLY, MAINTAINING PHASE I LIMITS OF DISTURBANCE SHOWN.
5. BEGIN FOUNDATION CONSTRUCTION AS GRADING TO BUILDING PAD SUBGRADE IS COMPLETED.
6. EXTEND EXISTING DETENTION BASIN OUTLET PIPE AND INSTALL PERMANENT OUTLET STRUCTURE.

SITE LEGEND	
SYMBOLS	DESCRIPTION
---	EXISTING/PROPOSED PROPERTY/RIGHT-OF-WAY LINE
D/C	PROPOSED DROP OR CURB - TYPE I
D/C	PROPOSED DROP OR CURB INLET - TYPE II
FLS	PROPOSED CONCRETE FLARED END SECTION
MH	PROPOSED MAINHOLE
18" x 12" x 36"	PROPOSED STORM PIPING
W	DOMESTIC WATER
FP	FIRE PROTECTION
SAN	SANITARY SEWER (GRAVITY)
PS	PRESSURE SEWER
OE	OVERHEAD ELECTRIC
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
G	GAS
PP	POWER POLE
GW	GUY WIRE
LP	LIGHT POLE
FH	FIRE HYDRANT
PV	POST INDICATOR VALVE
GV	GATE VALVE
TP	TELEPHONE PEDESTAL
X	EXISTING FENCE
XX	PROPOSED CHAINLINK FENCE
---	EXISTING TREE LINE
---	EXISTING WATER SURFACE ELEVATION

EXISTING TOPOGRAPHY/PLANIMETRICS IS REPRESENTED WITH DASHED LINES AND LABELED WITH SLANTED TEXT

EROSION CONTROL LEGEND	
SYMBOLS	DESCRIPTION
[Symbol]	STONE TRACKING PAD (TF)
[Symbol]	SILT FENCE (SF)
[Symbol]	STONE DITCH CHECK (DC)
[Symbol]	STORM DRAIN INLET PROTECTION (IP)
[Symbol]	DETENTION BASIN OUTLET STRUCTURE (OS)
[Symbol]	CLVERT OUTLET PROTECTION (OP)
[Symbol]	STONE SUBBASE STABILIZATION (SS)
[Symbol]	TOPSOILING (TS)
[Symbol]	PERMANENT SEEDING (PS)
[Symbol]	MULCHING (ML)

SEE SHEET C-502 FOR EROSION AND SEDIMENT CONTROL DETAILS

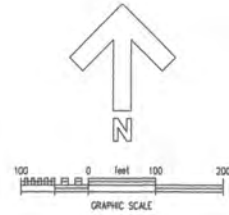
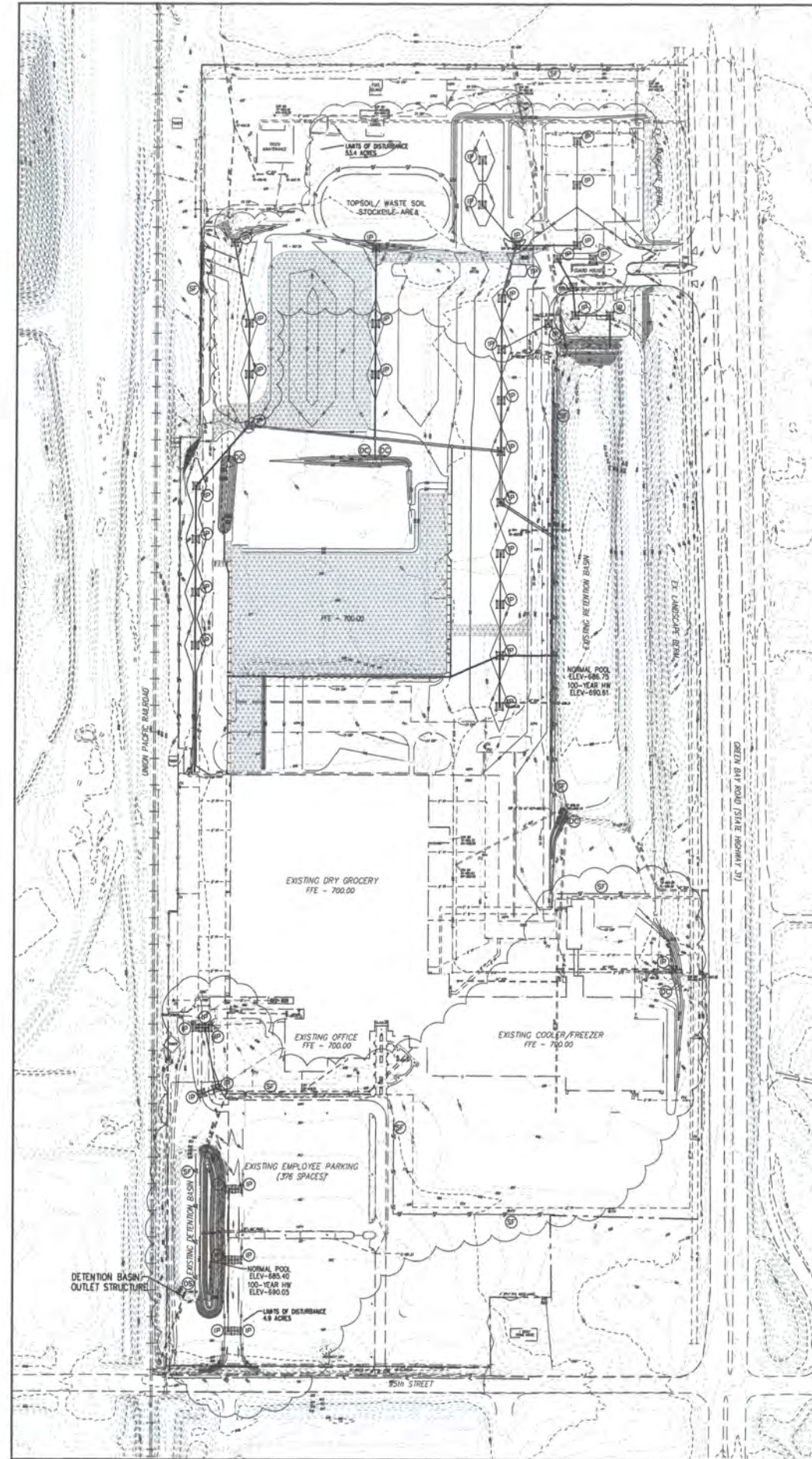
DOC. REL. #	DATE	DESCRIPTION	DOC. REL. #	DATE	DESCRIPTION
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

Gray
 19 Quality Street
 Louisville, KY 40207-1400
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 Birmingham, AL

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 859-548-2251
 COA NO. 3760-11

meijer - 872
 Village of Pleasant Prairie, WI

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI
EROSION AND SEDIMENT CONTROL PLAN
PHASE I



CONSTRUCTION SEQUENCE

1. CONTINUE BUILDING RELATED CONSTRUCTION.
2. CONTINUE TOPSOIL STRIPPING, EXISTING PAVEMENT REMOVAL, MISCELLANEOUS DEMOLITION AND GRADING FOR ALL DEVELOPED AREAS.
3. INSTALL SILT FENCE AND DETENTION BASIN OUTLET STRUCTURE PRIOR TO BEGINNING TOPSOIL STRIPPING AND GRADING SOUTH OF THE EXISTING BUILDING.
4. INSTALL APPROPRIATE STORM DRAIN INLET PROTECTION AS FINAL GRADES ARE ACHIEVED AND STORM STRUCTURES ARE INSTALLED.
5. INSTALL STONE DITCH CHECKS AS GRADING OF DITCHES IS COMPLETED.
6. BEGIN UNDERGROUND UTILITY CONSTRUCTION.
7. PLACE STONE SUBBASE FOR BUILDING AND PAVEMENT AS SOON AS POSSIBLE ONCE FINAL GRADES ARE ACHIEVED.

SITE LEGEND	
SYMBOLS	DESCRIPTION
---	EXISTING/PROPOSED PROPERTY/RIGHT-OF-WAY LINE
DVD	PROPOSED DRAIN OR CURB - TYPE I
DV/D	PROPOSED DRAIN OR CURB INLET - TYPE II
FC	PROPOSED CONCRETE FLARED END SECTION
MH	PROPOSED MANHOLE
18" 12'-12" STN	PROPOSED STORM PIPING
---	DOMESTIC WATER
---	FIRE PROTECTION
---	SANITARY SEWER (GRAVITY)
---	PRESSURE SEWER
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	GAS
PP	POWER POLE
GW	GUY WIRE
LP	LIGHT POLE
PH	FIRE HYDRANT
PIV	POST INDICATOR VALVE
DV	GATE VALVE
TP	TELEPHONE PEDESTAL
X	EXISTING FENCE
XX	PROPOSED CHAINLINK FENCE
---	EXISTING TREE LINE
---	EXISTING WATER SURFACE ELEVATION

EXISTING UTILITIES SHOWN DASHED
PROPOSED UTILITIES SHOWN SOLID

EXISTING TOPOGRAPHY/PLANIMETRICS IS REPRESENTED WITH DASHED LINES AND LABELED WITH SLANTED TEXT

EROSION CONTROL LEGEND	
SYMBOLS	DESCRIPTION
TP	STONE TRACKING PAD
SF	SILT FENCE
DC	STONE DITCH CHECK
IP	STORM DRAIN INLET PROTECTION
OS	DETENTION BASIN OUTLET STRUCTURE SEE SHEET C-501 FOR DETAILS
OP	CLVERT OUTLET PROTECTION SEE SHEET C-502 FOR DIMENSIONS
SS	STONE SUBBASE STABILIZATION
TS	TOPSOILING
PS	PERMANENT SEEDING
ML	MULCHING

SEE SHEET C-502 FOR
EROSION AND SEDIMENT CONTROL DETAILS

DOC. REL.	DATE	DESCRIPTION	DATE	DESCRIPTION
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL		

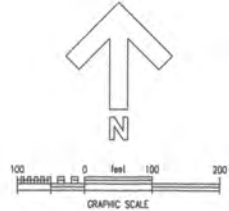
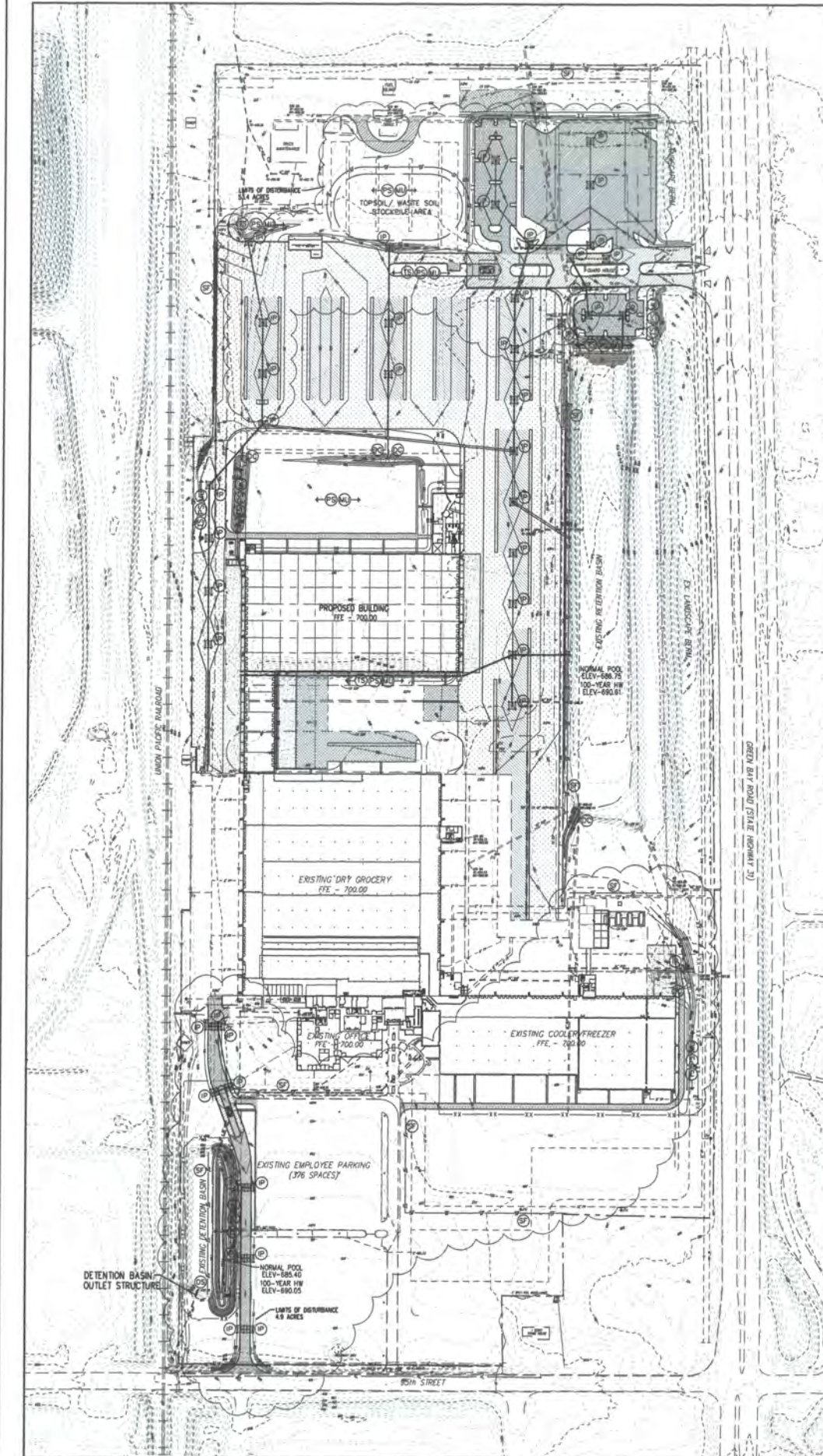
Gray
 10 Quality Street
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 Facsimile: (502) 252-5000
 Lexington, KY - Bowling Green, KY
 Birmingham, AL

TERRY SHAW, P.E.
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 859-648-2251
 COA NO. 3760-11

meijer
 Village of Pleasant Prairie, WI

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI

EROSION AND SEDIMENT CONTROL PLAN
PHASE II



1. COMPLETE UTILITY, BUILDING AND PAVING RELATED CONSTRUCTION.
2. COMPLETE TOPSOIL REPLACEMENT AND FINAL STABILIZATION (SEEDING AND MULCHING) IN LAWN AREAS WITHIN 14 DAYS OF ACHIEVING FINAL GRADES. ALL DISTURBED AREAS SHALL BE STABILIZED.
3. REMOVE AND PROPERLY DISPOSE SEDIMENT ACCUMULATED IN DITCHES AND STORM STRUCTURES. REMOVE SILT FENCE, STONE DITCH CHECKS AND INLET PROTECTION. RESEEDING THE AREAS DISTURBED BY THEIR REMOVAL.
4. REMOVE INLET PROTECTION.
5. REMOVE SILT FENCE AND STONE DITCH CHECKS AFTER ONE GROWING SEASON, RESEEDING THE AREAS DISTURBED BY THEIR REMOVAL.

SITE LEGEND	
SYMBOLS	DESCRIPTION
---	EXISTING/PROPOSED PROPERTY/RIGHT-OF-WAY LINE
⊠	PROPOSED DROP OR CURB - TYPE I
⊡	PROPOSED DROP OR CURB INLET - TYPE II
▭	PROPOSED CONCRETE FLARED END SECTION
○	PROPOSED MANHOLE
⊕	PROPOSED STORM PIPING
---	DOMESTIC WATER
---	FIRE PROTECTION
---	SANITARY SEWER (GRAVITY)
---	PRESSURE SEWER
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	GAS
⊠	POWER POLE
⊡	GUY WIRE
⊕	LIGHT POLE
⊕	FIRE HYDRANT
⊕	POST INDICATOR VALVE
⊕	GATE VALVE
⊕	TELEPHONE PEDESTAL
---	EXISTING FENCE
---	PROPOSED CHAINLINK FENCE
---	EXISTING TREE LINE
---	EXISTING WATER SURFACE ELEVATION

EXISTING TOPOGRAPHY/PLANIMETRICS IS REPRESENTED WITH DASHED LINES AND LABELED WITH SLANTED TEXT

EROSION CONTROL LEGEND	
SYMBOLS	DESCRIPTION
⊠	STONE TRACKING PAD (TP)
---	SILT FENCE (SF)
⊠	STONE DITCH CHECK (DC)
⊠	STORM DRAIN INLET PROTECTION (IP)
⊠	DETENTION BASIN OUTLET STRUCTURE (OS)
⊠	CULVERT OUTLET PROTECTION (OP)
⊠	STONE SUBBASE STABILIZATION (SS)
⊠	TOPSOLING (TS)
⊠	PERMANENT SEEDING (PS)
⊠	MULCHING (ML)

SEE SHEET C-502 FOR EROSION AND SEDIMENT CONTROL DETAILS

SEEDING SCHEDULE	
TYPE	PERMANENT
LIME RATE	1 TON / ACRE
FERTILIZER RATE	500# / ACRE 10-20-20
SEED RATE	200# / ACRE
SEED MIXTURE	10% PERENNIAL RYEGRASS - 20# 90% TALL FESCUE (KY 31) - 180#
MULCH RATE	2 TONS / ACRES
TYPE	TEMPORARY
SEASON	JUNE 16 THROUGH AUGUST 31
SEED RATE	100# / ACRE
SEED MIXTURE	100% PERENNIAL RYEGRASS
SEASON	SEPTEMBER 1 THROUGH NOVEMBER 30
SEED RATE	150# / ACRE
SEED MIXTURE	100% WINTER WHEAT

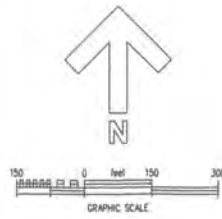
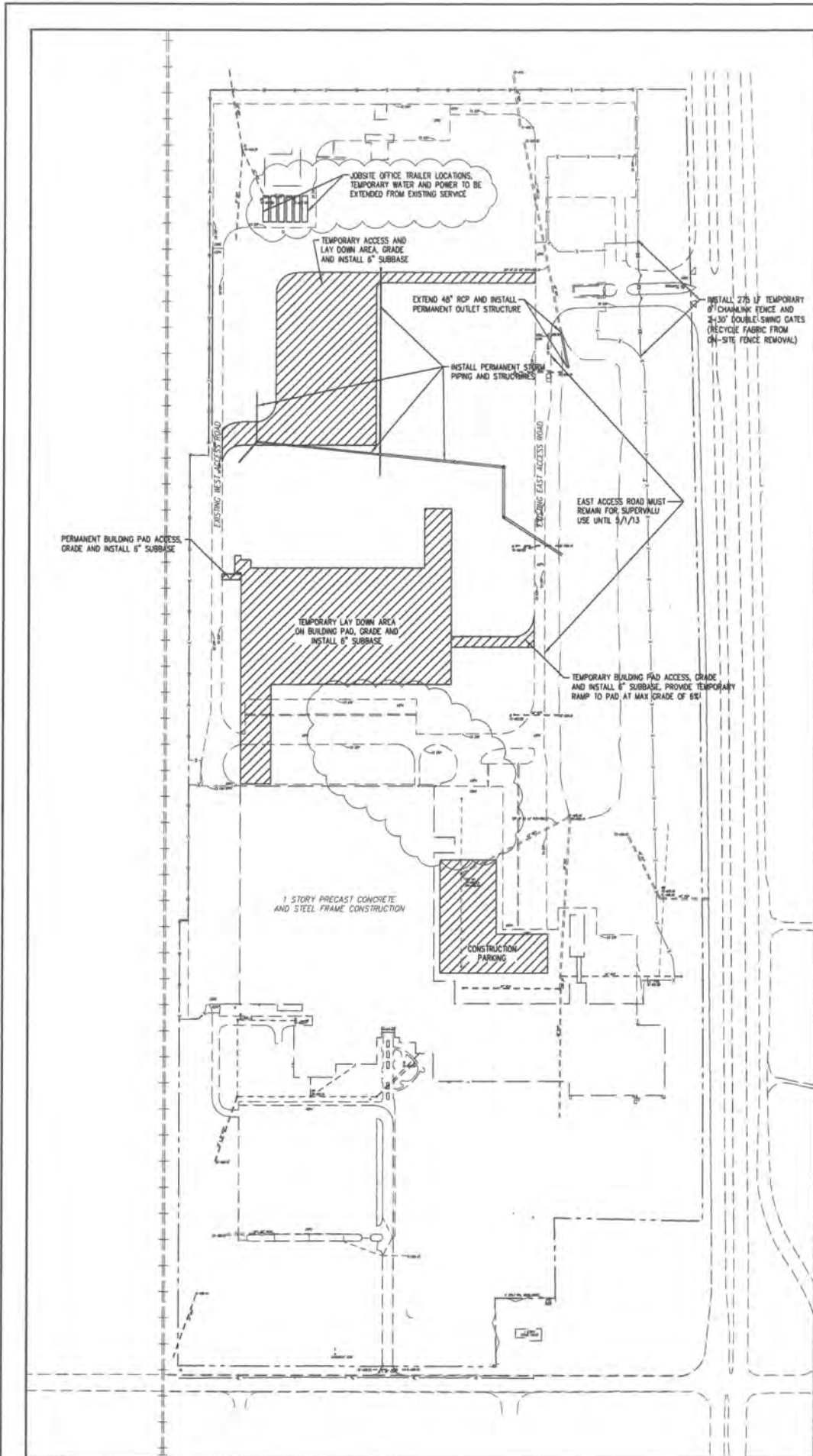
DOC. REL. #	DATE	DESCRIPTION	DATE	DESCRIPTION
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL		

10 Quality Street
 Lexington, KY 40507-4450
 Telephone: (606) 251-4000
 Facsimile: (606) 252-5300
 Lexington, KY - Bowling Green, KY
 Birmingham, AL

TERRY SHAW, P.E.
 1100 HUNTER DRIVE
 LANCASTER, KY 40444
 859-548-2251
 COA NO. 3760-11

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI

EROSION AND SEDIMENT CONTROL PLAN
PHASE III



NOTES

1. ALL ALL TEMPORARY ACCESS AND LAY DOWN AREAS SHALL BE GRADED TO PERMANENT SUBGRADE ELEVATION PRIOR TO PLACEMENT OF SUBBASE. TEMPORARY DITCHES AT THE PERIMETER OF THESE AREAS SHALL BE PROVIDED TO ASSURE POSITIVE DRAINAGE.
2. PERMANENT STORM PIPING SHALL BE INSTALLED AT THE LOCATIONS SHOWN SIMULTANEOUSLY DURING CONSTRUCTION OF THE ACCESS AND LAY DOWN AREAS.
3. KNOX LOCKS FOR TEMPORARY GATES AT GREEN BAY ROAD ENTRANCE SHALL BE OBTAINED FROM FIRE DEPARTMENT.

SITE LEGEND	
SYMBOLS	DESCRIPTION
---	EXISTING/PROPOSED PROPERTY/RIGHT-OF-WAY LINE
⊠	PROPOSED DROPPED CURB - TYPE I
⊡	PROPOSED DROPPED CURB - TYPE II
⊙	PROPOSED MANHOLE
---	PROPOSED STORM PIPING
---	DOMESTIC WATER
---	FIRE PROTECTION
---	SANITARY SEWER (GRAVITY)
---	PRESSURE SEWER (EXISTING UTILITIES SHOWN DASHED)
---	OVERHEAD ELECTRIC (PROPOSED UTILITIES SHOWN SOLID)
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	GAS
□	POWER POLE
⊠	GLY WIRE
⊡	LIGHT POLE
⊙	FIRE HYDRANT
⊙	POST INDICATOR VALVE
⊙	DATE VALVE
⊙	TELEPHONE PEDESTAL
---	EXISTING FENCE
---	PROPOSED CHAINLINK FENCE
---	EXISTING TREE LINE
---	EXISTING STREAM LINE

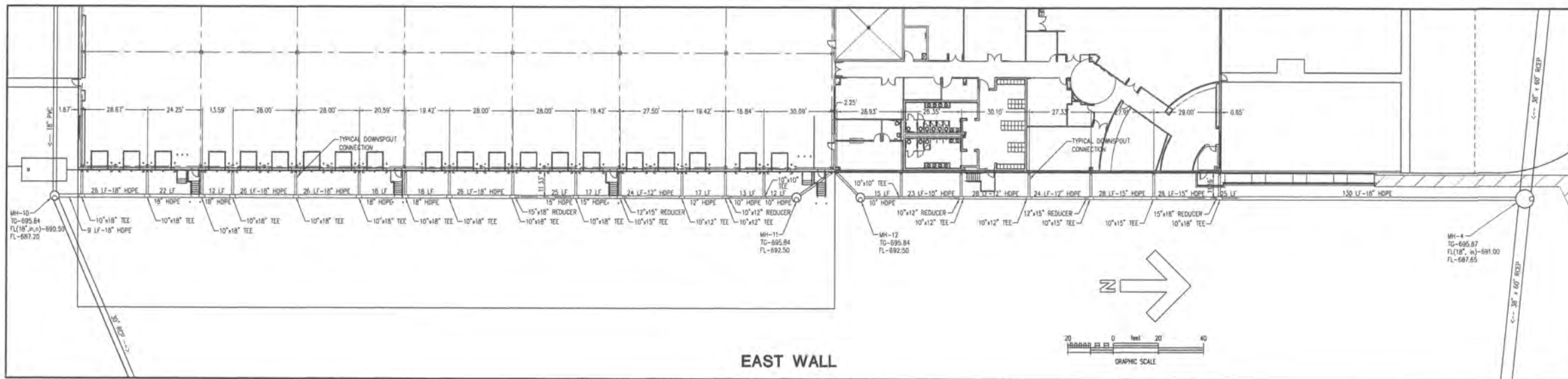
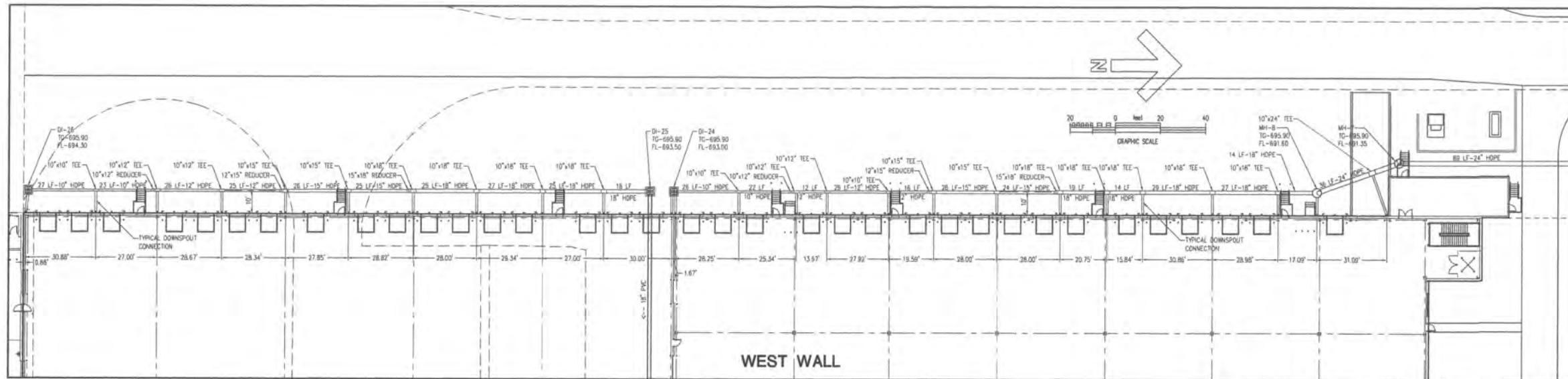
DOC. REL. #	DATE	DESCRIPTION	DATE	DESCRIPTION
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL		

18 Quality Street
Lansing, Michigan 48207-1400
Tel: (313) 487-5000
Fax: (313) 487-5009
Lansing, MI 48207-1400
Birmingham, AL

TERRY SHAW, P.E.
1100 HUNTER DRIVE
LANCASTER, KY 40444
859-548-2251
COA NO. 3760-11

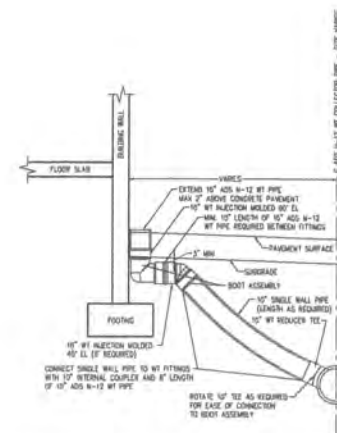
meijer
Village of Pleasant Prairie, WI

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
Village of Pleasant Prairie, WI
SITE LOGISTICS PLAN



GENERAL NOTES

1. DIMENSIONS ON EAST WALL ARE FROM OUTSIDE FACE OF DOCK WALL AT SOUTHEAST CORNER.
2. DIMENSIONS ON WEST WALL ARE FROM OUTSIDE FACE OF DOCK WALL AT SOUTH END OF WALL.



DOWNSPOUT CONNECTION TO HDPE COLLECTOR

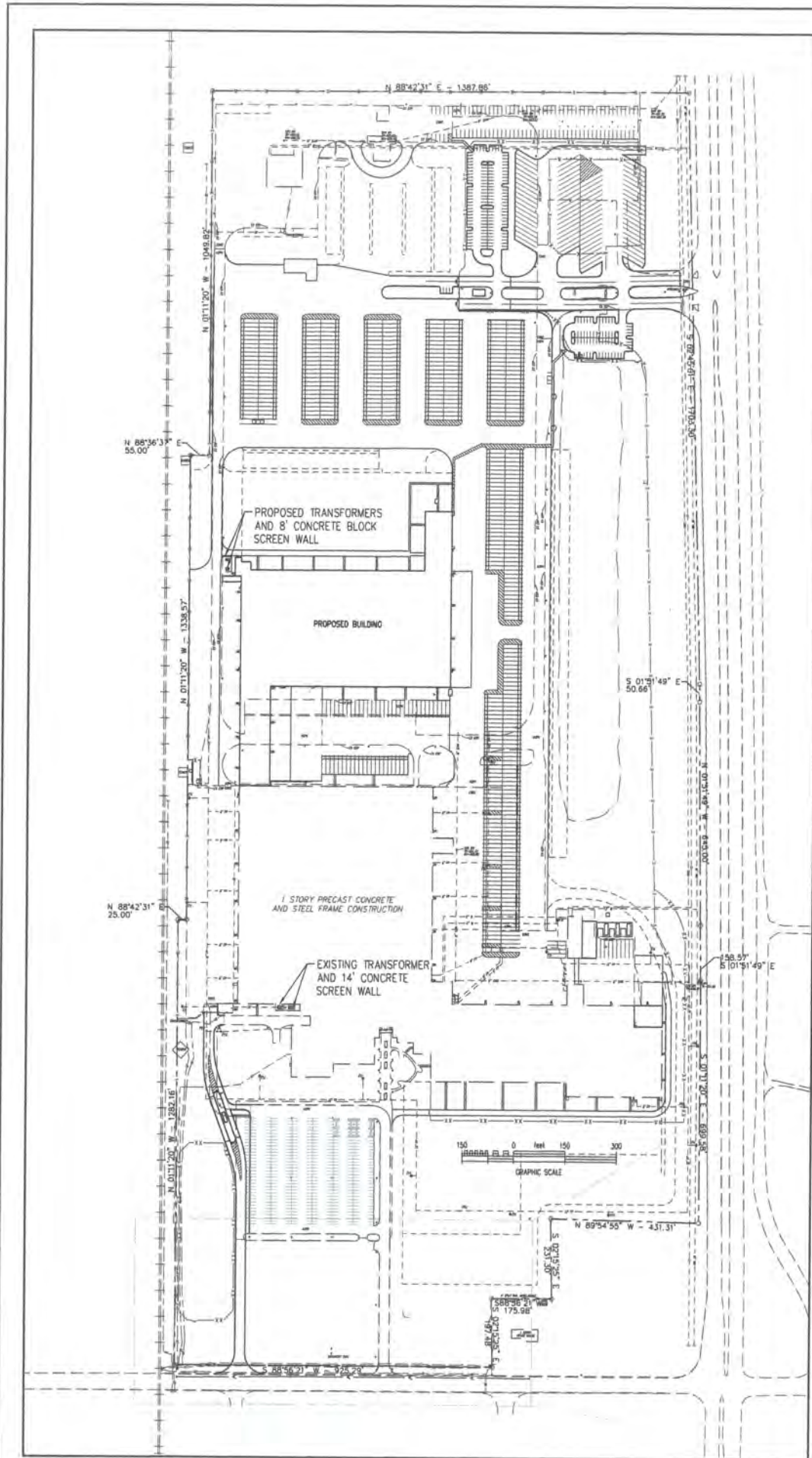
DOC. REL. #	DATE	DESCRIPTION	DOC. REL. #	DATE	DESCRIPTION
5	06/27/13	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

Gray
 10 Quality Street
 Lanham, MD 20655-4450
 Telephone: (800) 291-5000
 Fax: (301) 252-5300
 Lanham, MD • Bowling Green, KY
 Birmingham, AL

TERRY SHAW, P.E.
 1100 HUNTER DRIVE
 LANCASTER, KY 40444
 859-548-2251
 COA NO. 3780-11

FLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI
DOWNSPOUT COLLECTION SYSTEM

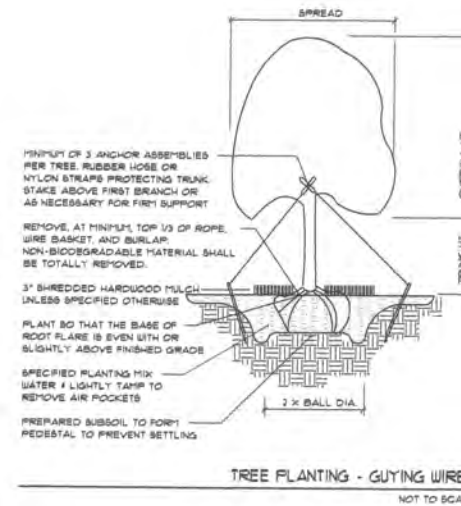
JOB NUMBER: 213039
 SHEET NUMBER: C-125



NOTES

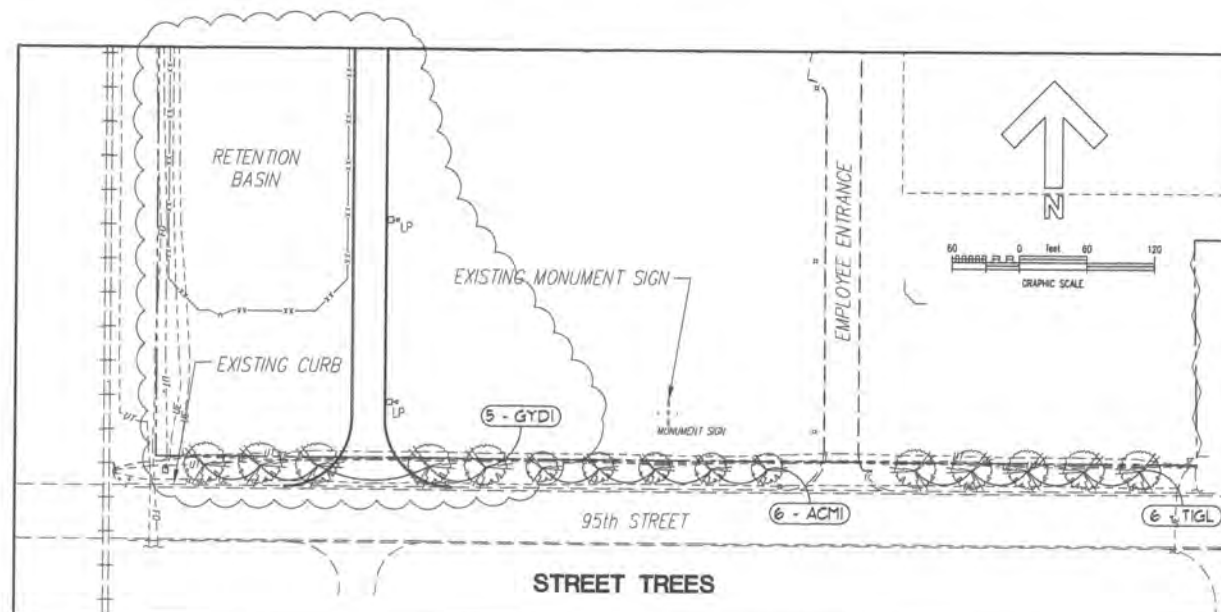
1. Notify DIGGERS HOTLINE prior to the commencement of any digging/clearing operations.
2. All finish grades to be flush with top of curbs, retaining walls and pavement.
3. All plant material shall conform to American Standard for Nursery Stock as prepared by the American Association of Nurserymen, Inc.
4. All plants to be located according to the plan and planted in holes at least twice the size of the plant root ball.
5. All plantings to be topdressed with a minimum of three inches of shredded hardwood mulch.
6. Amend and till planting beds to a minimum depth of 6" prior to planting.
7. All plants to receive 3 year slow release fertilizer packets (or equal) at a rate of 2 per caliper inch of tree and 3 per shrub.
8. Guarantee all plant material for a period of one year.
9. Water all plantings immediately after installation and maintain until project is accepted as complete by owner.
10. All planting bed shall have 3 inch shovel cut edges unless noted otherwise on the plan.
11. Refer to civil grading plans for landscape berms.
12. Plants shown on this plan are indicated at mature size.
13. The contractor who installs the street trees shall be preapproved by the Village and provide the Village with a Certificate of Insurance with the Village listed as an insured party.
14. The street trees shall be installed prior to occupancy and shall be maintained by the adjacent property owner.

SITE LEGEND	
SYMBOLS	DESCRIPTION
---	EXISTING/PROPOSED PROPERTY/RIGHT-OF-WAY LINE
○	PROPOSED DROP OR CURB - TYPE I
○	PROPOSED DROP OR CURB INLET - TYPE II
□	PROPOSED CONCRETE FLARED END SECTION
○	PROPOSED MANHOLE
---	PROPOSED STORM PIPING
---	DOMESTIC WATER
---	FIRE PROTECTION
---	SANITARY SEWER (GRAVITY)
---	PRESSURE SEWER
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	GAS
□	POWER POLE
---	GUY WIRE
□	LIGHT POLE
○	FIRE HYDRANT
○	POST INDICATOR VALVE
○	GATE VALVE
○	TELEPHONE PEDESTAL
---	EXISTING FENCE
---	PROPOSED CHAINLINK FENCE
---	EXISTING TREE LINE
---	EXISTING WATER SURFACE ELEVATION



PLANT SCHEDULE - TREES

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANTING SIZE
ACMI	Acer niyabei 'St. Street'	State Street Miyabei Maple	5	2" Cal. B4B
GYDI	Gymnocladus dioica	Kentucky Coffeetree	5	2" Cal. B4B
TIGL	Tilia cordata 'GlenLeven'	GlenLeven Linden	5	2" Cal. B4B



DOC. REL. #	DATE	DESCRIPTION	DOC. REL. #	DATE	DESCRIPTION
5	05/21/15	FINAL SITE AND OPERATIONAL PLAN SUBMITTAL			

Gray
 16 Quality Street
 Lexington, Kentucky 40507-1409
 Phone: (606) 252-5300
 Fax: (606) 252-5300
 Lexington, KY • Bowling Green, KY
 Birmingham, AL

TERRY SHAW, P.E.
 100 HUNTER DRIVE
 LANCASTER, KY 40444
 859-548-2251
 COA NO. 3780-11

PLEASANT PRAIRIE GROCERY RENOVATION
meijer - 872
 Village of Pleasant Prairie, WI
LANDSCAPING PLAN

JOB NUMBER: 213039
 SHEET NUMBER: LS-100

- D. Consider a **change of address** for the house with an address of 5029 93rd Street that is inappropriately assigned to 5149 93rd Street.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **address change for the house located at 5029 93rd Street to 5149 93rd Street** as presented in the Village Staff Report of July 22, 2013.

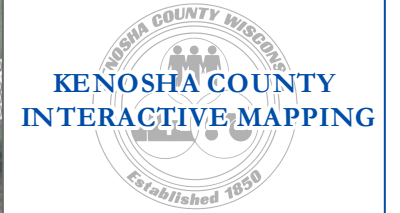
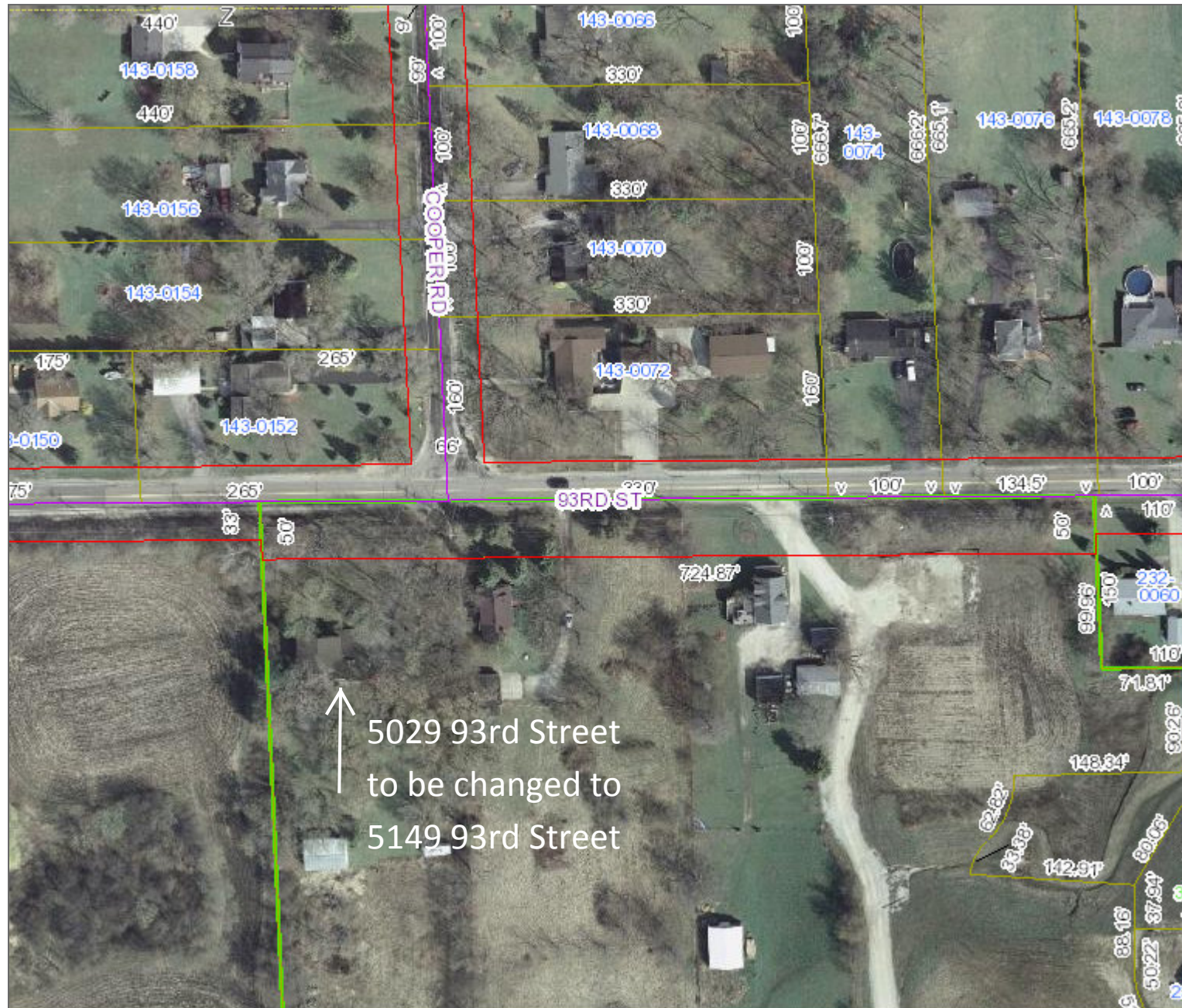
VILLAGE STAFF REPORT OF JULY 22, 2013

Consider a **change of address** for the house with an address of 5029 93rd Street that is inappropriately assigned to 5149 93rd Street.

On July 15, 2013, the Village initiated the change of an official address of 5029 93rd Street (western most home on Outlot 4 of the Devonshire Subdivision) because it does not fall within the proper address sequencing order.

On July 18, 2013 the Village sent a notice to the property owner related to the proposed changes noting that a public hearing will be held on August 5, 2013 to discuss said change. The address is proposed to be changed from **5029 93rd Street to 5149 93rd Street**. Said changes shall be effective August 15, 2013.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the address change for the westernmost home from **5029 93rd Street to 5149 93rd Street**



1 inch = 129 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 7/18/2013

- E. Consider the request of Jonah Hetland of Bear Development agent for the owners of Lots 19 and 20 of the Westfield Heights Subdivision for a **Lot Line Adjustment** to add 5,312 square feet of land to Lot 20 from Lot 19 for the proposed development of Goddard School.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Lot Line Adjustment** subject to the comments and conditions of the Village Staff Report of July 22, 2013.

VILLAGE STAFF REPORT OF APRIL 22, 2013

Consider the request of Jonah Hetland of Bear Development agent for the owners of Lots 19 and 20 of the Westfield Heights Subdivision for a **Lot Line Adjustment** to add 5,312 square feet of land to Lot 20 from Lot 19 for the proposed development of Goddard School.

The petitioner is requesting to adjust the lot line between Lots 19 and 20 of the Westfield Heights Subdivision.

Specifically 5,312 square feet of land is being adjusted and added to Lot 19. After the Adjustment Lot 19 will be 109,212 square feet (2.507 acres) and Lot 20 will be 56,784 square feet (1.304 acres).

The Lot Line Adjustment is being requested so that all the improvements associated with the Goddard School development on Lot 19 as conditionally approved by the Plan Commission on April 22, 2013 will be located entirely within Lot 19.

The proposed Lot Line Adjustment complies with the requirements set forth in the Village Zoning Ordinance and Land Division and Development Control Ordinance.

The Village staff recommends approval of the Lot Line Adjustment subject to the above comments and the following conditions:

1. The petitioner shall record the proper transfer documents with the Plat of Survey for the Lot Line Adjustment as an Exhibit at the Kenosha County Register of Deeds Office within 30 days of final Village approval. The petitioner shall provide proof of recording to the Village
2. Upon recording the transfer documents a legal description of Lot 20 and the portion of Lot 19 being added to it shall be provided to the Village in a WORD format to be used to finalize all the required documents for the Goddard School Development.
3. As a result of amending the property boundaries, the comprehensive land use map to remove the urban reserve area for the area being added to Lot 20, the Zoning Map will need to be amended to rezone the area being added to Lot 20 from the B-2 (UHO) to the B-2 (PUD) and a Zoning Text Amendment to amend the PUD for Goddard School to correct the legal description for the property. A letter shall be submitted requesting these amendments so that the required public hearings can be scheduled.



July 16th, 2013

Village of Pleasant Prairie
Attn: Peggy Herrick
9915 39th Ave
Pleasant Prairie, WI 53158

RE: Lot Line Adjustment – Westfield Heights

Dear Mrs. Herrick,

The purpose of this letter is to request approval of a lot line adjustment between Lots 19 and 20 of the Westfield Heights Subdivision. The lot line adjustment is needed in order to keep all of the site improvements for the proposed Goddard School on Lot 20.

I have included (3) full size copies of this proposed survey for your use.

Please let me know if you need anything additional for this request.

Sincerely,

A handwritten signature in black ink that reads "Jonah P. Hetland".

Jonah P. Hetland
Bear Development

A drawing and description of Lot 19, in Westfield Heights, a recorded subdivision, being part the Southwest 1/4 of the Southeast 1/4 of Section 5, Township 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin, EXCEPTING THEREFROM: Begin at the Southwest corner of said Lot 19 on the Northerly right-of-way of 91st Avenue and a point on a curve of Northwesterly convexity whose radius is 183.00 feet and whose chord bears N40°17'56"E 55.35 feet; thence Northeasterly 55.56 feet along the arc of said curve and said right-of-way; thence N48°49'28"W 159.26 feet to the Easterly line of said Lot 20; thence S25°12'19"E 146.17 feet along said Easterly line; thence S55°50'21"E 26.38 feet along said Easterly line to said Northerly right-of-way and the point of beginning.

A drawing and description of all of Lot 20 and part of Lot 19, in Westfield Heights, a recorded subdivision, being part the Southwest 1/4 of the Southeast 1/4 of Section 5, Township 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin, that portion of said Lot 19 described as follows: Begin at the Southwest corner of said Lot 19 on the Northerly right-of-way of 91st Avenue and a point on a curve of Northwesterly convexity whose radius is 183.00 feet and whose chord bears N40°17'56"E 55.35 feet; thence Northeasterly 55.56 feet along the arc of said curve and said right-of-way; thence N48°49'28"W 159.26 feet to the Easterly line of said Lot 20; thence S25°12'19"E 146.17 feet along said Easterly line; thence S55°50'21"E 26.38 feet along said Easterly line to said Northerly right-of-way and the point of beginning.

Certificate

The above-described drawing and description has been prepared under my direction and the map hereon drawn is a correct representation thereof to the best of my knowledge and belief.

07/16/2013 *James E. Robinson*

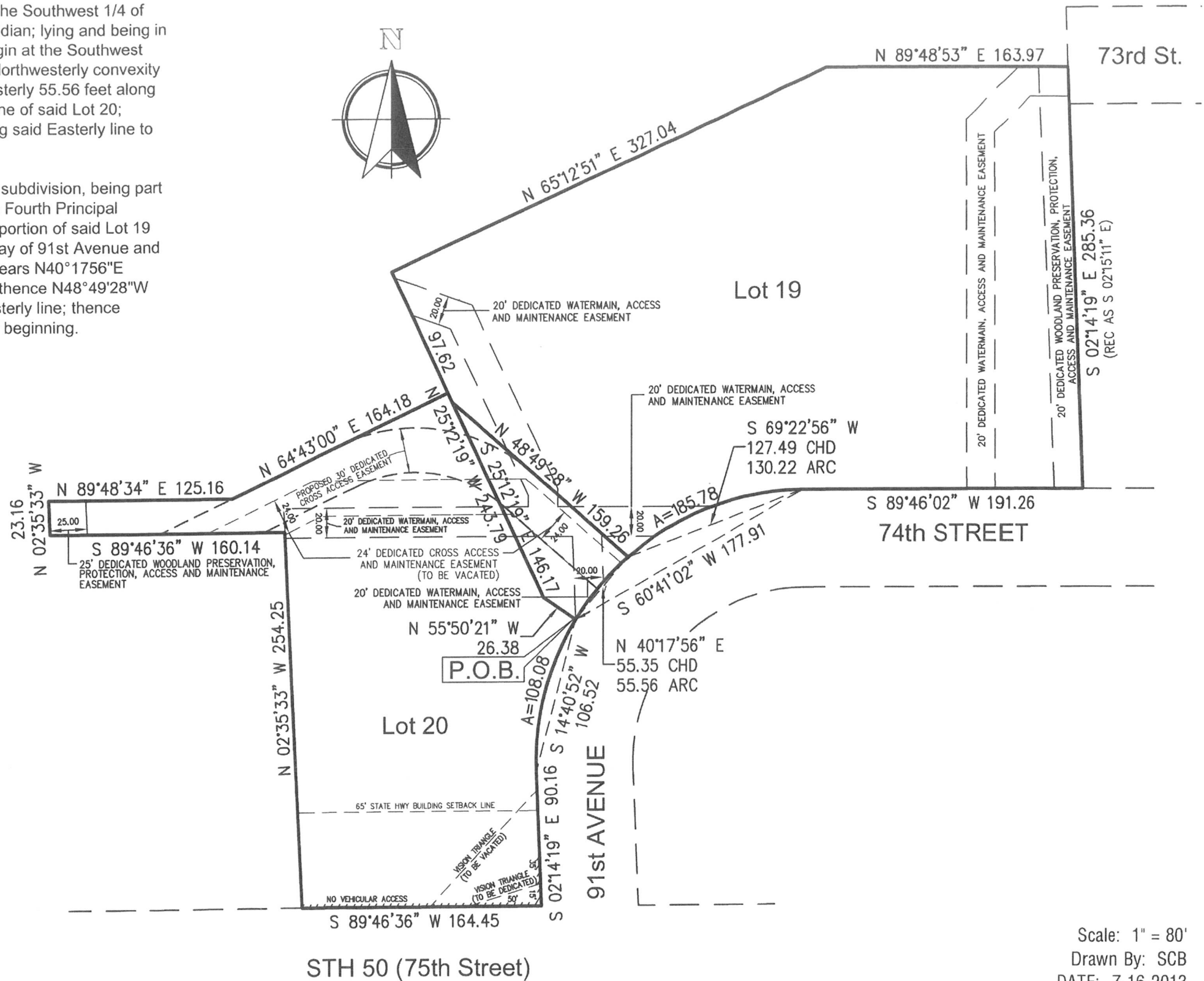


This drawing and description for the lot lines to be adjusted is hereby submitted to and approved by the Village Board of the Village of Pleasant Prairie as being in compliance with the Village Land Division and Development Control Ordinance on this _____ day of _____, 2013.

Plan Commission
Chairman _____
Thomas W. Terwall

Village
President _____
John P. Steinbrink

Village Clerk _____
Jane M. Romanowski



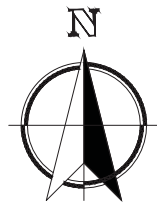
Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

1458 Horizon Blvd. Suite 200, Racine, Wisconsin 53406
Phone (262) 634-5588 * Facsimile (262) 634-5024 * Website nmbasc.net

NOTES

BEARING BASE: GRID NORTH, WISCONSIN
COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1927.

Scale: 1" = 80'
Drawn By: SCB
DATE: 7-16-2013
2007.0137.03
Quit Claim Exhibit
LOTS 19 AND 20
WESTFIELD HEIGHTS
Pleasant Prairie,
Kenosha, Wisconsin



40' 20' 0' 20' 40'
SCALE 1"=20'

Area to be added to parcel

FUTURE PAVEMENT

PROPOSED BUILDING
FINISHED SLAB GRADE
720.00 = 100'-0"

PROVIDE DEPRESSED RAMP PER VILLAGE REQUIREMENTS

NO PARKING
FIRE LANE

R8-31
(12"x18")

PUBLIC SIDEWALK
PER VILLAGE SPECS.

91st Avenue

STH 50 (75th Street)

RESERVED PARKING

R7-8
(12"x18")

- PAVEMENT**
- 5 C-6 CONCRETE SIDEWALK
 - 2 C-6 ASPHALT PAVEMENT (HEAVY DUTY)
 - 1 C-6 ASPHALT PAVEMENT (AUTO PARKING)
 - 2 C-8 DETECTABLE WARNING FIELD

